

**Time and Date**

2.00 pm on Thursday, 5th March, 2026

Place

Committee Room 3 - Council House

1. **Apologies for Absence**

2. **Declarations of Interest**

3. **Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Strategic Lead for Planning, be declared before the application is considered.

4. **Minutes of the Meeting held on 18 December 2025** (Pages 3 - 6)

5. **Late Representations**

To be circulated at the meeting.

6. **Application PL/2024/0002270/FULM - Allesley Hotel, Birmingham Road**
(Pages 7 - 100)

Report of the Strategic Lead for Planning

7. **Application PL/2025/0000037/FULM - 46 Algate Close** (Pages 101 - 130)

Report of the Strategic Lead for Planning

8. **Application PL/2025/0001987/OUT - 260a Hawkes Mill Lane** (Pages 131 - 152)

Report of the Strategic Lead for Planning

9. **Outstanding Issues**

There are no outstanding issues.

10. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

Coventry

Wednesday, 25 February 2026

Note: The person to contact about the agenda and documents for this meeting is
Carolyn Sinclair / Tom Robinson carolyn.sinclair@coventry.gov.uk /
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Membership: Councillors P Akhtar, R Bailey, L Harvard (Chair), T Jandu, R Lakha,
G Lloyd, K Maton (Deputy Chair), J McNicholas and M Mutton

By invitation: Councillor N Akhtar

Carolyn Sinclair / Tom Robinson
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Coventry City Council
Minutes of the Meeting of Planning Committee held at 2.00 pm on Thursday, 18 December 2025

Present:

Members: Councillor L Harvard (Chair)
Councillor P Akhtar
Councillor R Bailey
Councillor R Lakha
Councillor G Lloyd
Councillor K Maton
Councillor J McNicholas
Councillor M Mutton

Other Members: Councillor N Akhtar (Cabinet Member for Housing and Communities)

Employees (by Service Area):

Highways and Transport N Benison, L Forward, A Le Marinel, B Malin

Innovation C Knight (Director)

Law and Governance O Aremu, T Robinson, C Sinclair

Planning and Regulation L D’Onofrio, G Goodman, A Lynch, E Spandley, O Williams

Apologies: Councillor T Jandu

Public Business

44. Declarations of Interest

There were no declarations of interest.

45. Members Declarations of Contact on Planning Applications

The Members named declared contacts on the following application as indicated:

Application No.	Councillor	From
Application PL/2025/0001922/FULM - Land Southeast of Shilton Lane, South and Southeast of Lentons Lane	All Members	Applicants and local residents
Application PL/2025/0001852/PAEC – 1 – 65 Ferrers Close	Councillor L Harvard	Objectors

46. Minutes of the meeting held on 16 October 2025

The Minutes of the meeting held on 16 October 2025 were agreed and signed as a true record.

47. **Late Representations**

The Committee noted a tabled report which summarised late representations and responses on the following:

Application	Site	Minute
PL/2025/0001922/FULM	Land South East of Shilton Lane and South and South East of Lentons Lane	48
PL/2025/0001978/FUL	118 Alpine Rise	49
PL/2025/0001852/PAEC	1-65 Ferrers Close	51

48. **PL/2025/0001922/FULM - Land South East of Shilton Lane, South And South East of Lentons Lane**

The Committee considered a report of the Strategic Lead for Planning for a solar farm development including solar arrays, control buildings and associated infrastructure, internal access roads, landscaping and associated development. The application was recommended for approval.

The Late Representation report included updates to consultee and neighbourhood responses, clarifications to the application proposal section of the report, and an additional two conditions: one from the Canal and River Trust relating to the landscape planting scheme and another to the transformer station relating to its location. Lastly, the recommendation was amended to include granting delegated authority to the Strategic Lead for Planning in consultation with the Chair of the Planning Committee.

Nine registered speakers, including Councillor E Ruane, a Henley Ward Councillor who sent in a statement, Councillor J Gardiner, and Councillor M Lapsa spoke in respect of their objections. The agent attended the meeting and spoke in support of the application.

RESOLVED:

- 1) That planning permission be granted in respect of Application PL/2025/0001922/FULM for the part of the scheme within Coventry's administrative boundary, subject to conditions; including the amended conditions (relating to the Canal and River Trust and the Transformer Station) as set out in the Late Representations; and delegates authority to the Strategic Lead for Planning, following consultation with the Chair of Planning Committee, to approve any additional conditions or any amendments to these conditions, which are considered necessary.
- 2) That, following consultation with the Chair of Planning Committee, the following additional conditions be included:
 - The community benefit fund has a managed delivery.

- **Site security measures be regularly reviewed.**

49. **PL/2025/0001978/FUL - 118 Alpine Rise**

The Committee considered a report of the Strategic Lead for Planning for the conversion of residential property (Use Class C3a) to children's residential care home (Use Class C2) for up to three children. The application was recommended for approval.

The Late Representation report included an update to Children's Services consultee response to the application stating they had no objection. Secondly, it highlighted the raising of a petition expressing residents' concerns.

The Committee considered the petition objecting to the application bearing 64 signatures sponsored by Councillor J Blundell, a Wainbody Ward Councillor. Councillor Blundell spoke in respect of the petition and his own objections alongside Councillor M Heaven, a Wainbody Ward Councillor, and 1 other registered speaker. The applicant had been invited to the meeting but was not in attendance.

Following discussion, Members agreed that, in light of a Member's question about the operation of the site, the application be deferred to a later meeting.

RESOLVED that planning permission for Application PL/2025/0001978/FUL be deferred for the reason stated.

50. **PL/2024/0000976/FUL - Loop Line Humber Avenue**

The Committee considered a report of the Strategic Lead for Planning for the erection of 4 dwellings within the former railway land/disused Coventry Loop Line to the south of Humber Avenue including associated access and landscaping works. The application was recommended for approval.

RESOLVED that planning permission be granted in respect of Application PL/2024/0000976/FUL subject to conditions.

51. **PL/2025/0001852/PAEC - 1 - 65 Ferrers Close**

The Committee considered a report of the Strategic Lead for Planning for a prior approval application for proposed installation of telecommunications base station comprising 20m monopole supporting 9no. antennas and 2no. dishes with wrap-around cabinet at the base, together with 6no. equipment cabinets and ancillary development hereto. The application was recommended for approval.

The Late Representation report included an amendment to condition 2 to include anti-graffiti paint.

Three registered speakers, including Councillor G Ridley, a Westwood Ward Councillor, spoke in respect of their objections. The agent sent in a statement in support of the application.

Following consideration of the report, the Late Representations report and matters raised at the meeting, Members considered that the application site was unsuitable and the streetscene would be negatively impacted.

RESOLVED that planning permission be refused in respect of Application PL/2025/0001852/PAEC for the reasons stated.

52. **Outstanding Issues**

There were no outstanding issues.

53. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

(Meeting closed at 6.25 pm)

Planning Committee Report	
Planning Ref:	PL/2024/0002270/FULM
Site:	Allesley Hotel Birmingham Road, Allesley, CV5 9GT
Ward:	Bablake
Proposal:	Demolition of the former Allesley Hotel and the construction of 55 residential dwellings, with access sought from Birmingham Road; and the erection of a double garage to the rear of No. 85 Birmingham Road; and associated works.
Case Officer:	Ayesha Saleem

INTRODUCTION

This application proposes the demolition of the existing Allesley Hotel and erection of 55 new residential dwellings with access from Birmingham Road and the erection of a double garage to the rear of No. 85 Birmingham Road. This is an allocated housing site in the emerging Local Plan and the proposals are considered to be acceptable in principle.

The site extends to approximately 1.9ha and currently comprises a vacant hotel building, a disused car park and existing vegetation. The site lies within the Allesley Village Conservation Area.

The application has been referred to planning committee as more than 5 letters of objections have been received.

RECOMMENDATION

Planning Committee are recommended to delegate the grant of planning permission to the Strategic Lead for Planning subject to conditions and the completion of a S106 Legal Agreement to secure the contributions summarised in this report and for the Strategic Lead for Planning to agree any necessary amendments to the S106 Legal Agreement and Planning Conditions in consultation with the Chair.

REASON FOR DECISION

The proposed development is considered to be acceptable in principle for 55 open market dwellings on a brownfield site and will not result in any significant impact upon the Conservation Area, listed heritage assets, neighbour amenity, highway safety, ecology, or infrastructure, subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS1, DS3, H1, H3, H4, H9, GE1, GE3, GE4, DE1, HE2, AC1, AC2, AC3, AC4, EM1, EM2, EM3, EM4, EM5 and EM7 of the Coventry Local Plan 2017, together with the aims of the NPPF.

SITE DESCRIPTION

The site was formerly the Allesley Hotel, a 90-bed hotel and conferencing facility with extensive grounds and car parking.

The application site is located in Allesley Village, northwest of Coventry City Centre. The site itself measures 1.9ha and currently comprises a now disused hotel with associated parking and gardens. The topography of the site slopes from northeast to southwest.

To the north of the site is Birmingham Road being the main thoroughfare through the village, which accommodates predominantly residential properties mixed with business outlets. South of the site is the A4114 Pickford Way connecting the west of Coventry to the A45. Just south of the A4114 is Allesley Park and play area with a bridged pedestrian access over the A4114 accessible just east of the site entrance. The east and west are both bound by existing residential properties.

The application site contains a number of TPO trees and is located within Allesley Village Conservation Area. Birmingham Road is north of the site has a number of Listed buildings.

APPLICATION PROPOSAL

The proposed layout comprises of 55 dwellings in the form of one 3 storey apartment block and 2/ 2.5 storey dwellings. The mix for the site is as follows:

- 1 bed- 9 dwellings
- 2 beds- 20 dwellings
- 3 beds- 19 dwellings
- 4 beds- 6 dwellings
- 5 beds- 1 dwelling

The layout provides a three-storey apartment block fronting Birmingham Road. The dwellings vary in width and are configured in a range of typologies. These vary from detached and semi-detached houses to short terrace runs.

Car and cycle parking and bin storage areas have been proposed for each of the units.

A double garage is proposed to the rear of No 85 Birmingham Road measuring circa 6.07 metres by 6.08 metres and a height of 5.09 metres designed in a gable roof.

A new vehicular and pedestrian access will be provided off Birmingham Road. To the southern boundary fronting Pickford Way is to be a proposed 2.4-metre-high acoustic barrier.

The remainder of the site will be in the form of green infrastructure comprising a mixture of existing grassland, tree belts and hedgerows, but also now incorporating drainage attenuation basin and local area of play. There will be a loss of protected trees on the site to facilitate the development, which will be discussed in further detail below.

RELEVANT PLANNING HISTORY

There is extensive planning history relating the former hotel use, which is not relevant to these proposals.

With regards to planning enforcement history the Council served a stop notice on the use of the hotel as a hostel.

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high

quality design and states that it is “fundamental to what the planning and development process should achieve”.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs
Policy DS3: Sustainable Development Policy
Policy DS4: (Part A) – General Masterplan Principles
Policy H1: Housing Land Requirements
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing
Policy H6: Affordable Housing
Policy H9: Residential Density
Policy GE1 Green Infrastructure
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy HE1 Conservation Areas
Policy HE2: Conservation and Heritage Assets
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy AC5: Bus and Rapid Transit
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards Policy
Policy EM3: Renewable Energy Generation Policy
Policy EM4: Flood Risk Management Policy
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM6: Redevelopment of Previously Developed Land
Policy EM7: Air Quality
Policy IM1: Developer Contributions for Infrastructure

Emerging Local Policy Guidance – Local Plan Review submitted to Planning Inspectorate for examination on 9th September 2025.

The Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

Policy DS3: Sustainable Development Policy
Policy DS4: (Part A) – General Masterplan Principles
Policy H1: Housing Land Requirements
Policy H2: Housing Allocations (H2:33)
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing

Policy H6: Affordable Housing
Policy H9: Residential Density
Policy GE1 Green Infrastructure
Policy GE3: Biodiversity, Geological and Landscape Conservation
Policy GE4: Tree Protection
Policy DE1: Ensuring High Quality Design
Policy DE2: Delivering High Quality Places
Policy HE1 Conservation Areas
Policy HE2: Conservation and Heritage Assets
Policy HE4: Archaeology
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Active Transport Provision including Walking, Cycling and Micro Mobility
Policy AC5: Bus, Demand Response Transit and Rapid Transit
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM4: Flood Risk Management
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM6: Redevelopment of Previously Developed Land
Policy EM7: Air Quality
Policy EM11: Energy Infrastructure
Policy EM13: Overheating in new buildings
Policy EM15: Noise
Policy IM1: Developer Contributions for Infrastructure

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Design Guidelines for New Residential Development
SPD Delivering a More Sustainable City
SPD Coventry Connected
SPD Air Quality
SPD Energy
SPD Trees and Development Guidance

CONSULTATION

Objections received from:

- Urban Design
- Conservation
- Highways
- Trees

No objections subject to conditions and informatives received from: -

- Affordable Housing
- Archaeology
- Ecology
- Environmental Protection
- The Local Lead Flood Authority

- NHS ICB
- NHS Trust
- Education
- Streetscene & Greenspace
- Sport
- Economic Development Services
- West Midlands Fire Service
- West Midlands Police

Neighbour consultation

Notification letters were initially sent out to neighbouring houses, and two site notices were displayed on the 11th of December 2025, and a press notice was posted.

In total we have received 8 comments of which 6 are objections, 1 letter of support and 1 comment.

The six letters of objection have been received, raising the following material planning considerations:

- a) Plots 1-9, will significantly impact on privacy & harmful overlooking
- b) The access via Pickford way previously refused should be reviewed- This would drastically reduce the impact of additional traffic on the neighbourhood
- c) Concerns regarding the design of the dwellings within the Conservation Area
- d) 25% affordable should be provided on site
- e) The buildings to front of Birmingham Road should be retained.
- f) Impact upon traffic and congestion
- g) Insufficient parking provided
- h) Highways safety concerns
- i) Traffic pollution will be detrimental to the health of residents.
- j) Existing infrastructure not able to cope with more housing
- k) Measures to ensure that the existing Swift nests on site remain available to these threatened birds

The non-material planning consideration raised is as follows, these cannot be given due consideration in the planning process:

- l) This is an ideal site for a new medical centre

One letter of support was received regarding the redevelopment of the Allesley hotel site.

Following amendments that were submitted residents were consulted a further 14 days, 4 objections were received, raising the following material planning considerations:

- m) Direct overlooking and loss of privacy from top floor flats on Birmingham Road
- n) The noise impact assessment does not adequately consider the nature of the surrounding properties, which are listed and more fragile than normal properties
- o) Concern regarding the design of the frontage of the building facing onto the Birmingham Road
- p) Loss of Trees
- q) Housing mix not acceptable
- r) Not a suitable residential environment for future occupiers

s) Highway safety concerns

One letter of support has been received by the Allesley and Coundon Wedge Conservation Society regarding the redevelopment of the Allesley hotel site and bringing it back into meaningful use, removing an eyesore and a health and safety hazard, is more favourable than the preservation of Allesley House.

A further 45 letters of support have been received raising the following:

- t) Existing buildings are getting vandalised/ fires
- u) Redevelopment is needed
- v) The proposals are in keeping with Conservation Area

With regards to these support representations, 14 of these representations were received from addresses within 1.8 miles of the application site.

APPRAISAL

The main issues in determining this application are principle of development, housing mix and density, affordable housing, the impact upon the character of the area and heritage assets, archaeology, the impact upon neighbouring amenity, highway considerations, ecology and biodiversity, trees, drainage and flood risk, air quality, noise, contaminated land, infrastructure requirements and developer contributions, viability and equality implications.

Principle of development

Based on the provisions of the December 2024 NPPF the Council is able to demonstrate a 5.91 year housing land supply as of 31st March 2025. Whilst the Council is able to demonstrate a healthy supply of homes, the overarching aims of the NPPF and indeed the adopted Local Plan is to deliver additional dwellings, indeed windfall sites within the housing trajectory are key to maintaining an adequate supply of homes.

Within the current Local Plan the application site is not allocated, however under the emerging Local Plan Policy H2:33, this site is an allocated housing site for 48 dwellings. Policy H2:33, states that any application should take into account retention and enhancement of adjacent listed buildings and heritage assets and the Allesley Village Conservation Area that the site is within. Consideration is needed of the Allesley Bypass dual carriageway that runs along the south of the site. The fact the site is due to be allocated soon can be afforded weight.

As the site is not currently allocated for housing, Policy H3 of the adopted Local Plan is relevant as it relates to the provision of new housing and requires sites and developments to have safe and appropriate access and provide a quality living environment for future occupiers which does not have contaminants, noise and air quality issues.

The site meets the criterion set out in H3 given that the site is in a highly sustainable location well served by transport links to the city centre, Birmingham Road District Centre and surrounding amenities. Therefore, the principle of residential development of the site is accepted. The issues relating highway safety concerns, loss of trees and quality of living environment of future occupiers will be dealt with later in the report.

Housing mix and density

The Coventry and Warwickshire Housing & Economic Development Needs Assessment 2022 (HEDNA) provides the latest housing figures. The HEDNA suggests that the mix of market housing that should be provided in Coventry is 10% 1-beds, 40% 2-beds, 40% 3-beds and 10% 4-beds. These figures are intended to be used as a monitoring tool across the city rather than to be applied rigidly to all individual development sites. The figures should also be applied considering the existing housing mix in the locality and gaps within this; the site location and characteristics; and the local need. The application overprovides for 1-bedroom flats and provides fewer 2 and 3-bedroom houses than recommended by the HEDNA. The breakdown is as follows:

- 1 bed- 9 dwellings (16%)
- 2 beds- 20 dwellings (36%)
- 3 beds- 19 dwellings (34%)
- 4 beds- 6 dwellings (12%)
- 5 beds- 1 dwelling (2%)

The applicant has now amended the scheme to replace the 9-unit southern apartment block with 4, 3-bedroom, 2.5 storey houses. This is an improvement to the initial scheme where there was a high proportion of 1 bed units. Furthermore, the replacement of the southern apartment block with the four houses would not adversely impact the viability of the scheme. It is accepted that the northern apartment block is essential on the frontage of Birmingham Road. Therefore, officers are of the view that the proposed mix set out within the information provided is now deemed to be acceptable and has positive weight within the planning balance complying to Policy H4 of the Coventry Local Plan.

Adopted Local Plan Policy H9 (Residential Density) states a minimum net density is required of 35 dwellings per hectare, which would equate to 56 dwellings for the 1.9ha area if one excludes the required 15% open space. The proposed 55 dwellings provide a density of 34 dwellings per hectare. The draft allocation for this site in the emerging local plan is 48 dwellings; the proposed number of dwellings is a marginal increase from the draft allocation. Therefore, it is considered that the proposed housing mix is acceptable and compliant with Policy H9 of the Coventry Local Plan 2017.

Affordable Housing

In terms of affordable housing provision, the applicant indicates that this application is exempt through the vacant building credit given the proposed floorspace of the 55 houses is less than the existing hotel building. The floorspace of the existing building is 8395m² and officers have calculated the proposed floorspace of the 55 residential dwellings equates to 5139m². The Planning Practice Guidance and paragraph 65 of the NPPF provide an incentive for brownfield development on sites containing vacant buildings and says where a vacant building is brought back into any lawful use or is demolished to be replaced by a new building, the developer should be offered a financial credit equivalent to the existing gross floorspace of relevant vacant buildings when any affordable housing contribution is calculated. This is subject to it having been demonstrated that the buildings have been vacant for more than 12 months but that they have not been abandoned. Local Plan Policy H6 and the Affordable Housing SPD support this.

The PPG states that when LPAs are deciding whether a use has been abandoned, they should account for the condition of the property, the period of non-use, whether there is an intervening use, and any evidence regarding the owner's intention. The PPG goes on to say that LPAs should also have regard to the intention of national policy, which is to incentivise brownfield development and therefore it may be appropriate for authorities to consider whether the building has been made vacant for the sole purposes of re-development or whether the building is covered by an extant or recently expired planning permission for the same or substantially the same development.

The applicant has confirmed that the former hotel has been vacant for more than 12 months, the hotel was used as temporary accommodation for the homeless and asylum seekers between 2018 and 2022. The Allesley Hotel was closed in 2022 following enforcement action by the Council and has remained vacant since. It was not made vacant in order to facilitate redevelopment of the site. During this period, the building has fallen into a state of disrepair, with two large fires reported in February and May 2024, due to the extent of the damage to the building as a result of these fires the building is beyond repair and is not capable of redevelopment.

The applicant has also submitted a Structural survey and condition report. The report confirms that the condition of the building is such that it is beyond repair, and the most appropriate outcome would be to demolish.

In our view the Vacant Building Credit is accepted on balance and the applicant has provided sufficient information in support of this position, thus the proposal is compliant to Policy H6 of the Coventry Local Plan.

Impact upon the character of the area and heritage assets

The massing of the proposed development will predominantly be delivered with two storey and two and half storey dwellings which is reflective of the predominant scale found within the locality, with limited intervals of tall massing in the form of the three storey apartment blocks offered in response to the conservation area and frontage facing on to Birmingham Road which would be acceptable.

Initially the Conservation officer raised concerns in relation to the design of the apartment block (Plot 1-9) fronting Birmingham Road as the building has a Georgian style frontage rather than Tudorbethan, which the current building is.

The agent submitted amendments to the design of the three-storey apartment block (Plot 1-9) fronting Birmingham Road, in which the design of the proposed building now includes hung tiles, and oriel window, and mock tudor panelling, which is considered to be acceptable.

Notwithstanding the above changes the Conservation Officer has requested that the creating a separation between the buildings has somehow made the tudorbethan building unconvincing. The Conservation officer requested that instead the height of the building is increased and the gap between the two buildings is removed and also suggested projecting the building by a single or half brick, so that the building line is slightly staggered, this would add further articulation to the frontages.

The scheme has not been amended in line with the Conservation comments, however planning officers consider that the current proposals does not warrant a refusal. On balance the amended proposed design is considered to be an improvement on the existing, that recalls the history of the site, without being pastiche, and will result in an enhancement to the Allesley Village Conservation Area.

The design of the dwellings and proposed double garage has made positive reference to the forms found within the Ancient Arden Character Area offering simple gable forms. The proposed style and appearance of the properties to the southern half of the site are considered to be fairly standard for a housebuilder but on balance are considered acceptable.

The acoustic barrier fronting Pickford way is to be 2.4 metres high set back within the tree line, thus is not considered to be prominent to Pickford Way and is to have an acceptable impact upon the visual amenity of this streetscene.

Overall, in design terms it is considered that the design of the dwellings is considered to be acceptable and will complement the setting of the nearby listed buildings and Allesley Village Conservation Area, thus the proposals are compliant with policies DE1 and HE2 of the Coventry Local Plan 2017.

There is not considered to be harm caused to the heritage assets, and there are also public benefits of the scheme insofar as a high-quality scheme will be created to enhance the setting of the locally listed building. The scheme will also add 55 quality homes which will contribute to the city's housing stock.

Archaeology

The application is for the demolition of the post-medieval and early 20th century Allesley House Hotel and the development of a substantial part of the back plots of Allesley, which would have originally lay behind the medieval village frontage and Allesley Park, a medieval deer park, the boundary of which survived into the 19th century.

The proposed demolition is within Allesley Village Conservation Area and Allesley Village Historic Core Archaeological Constraint Area. The area for development is centred around the former Allesley hotel and encompasses the surrounding open areas to the east, west and rear up to Pickford Way. Along Birmingham Road to the east, west and north of the proposed development are several listed buildings and locally listed buildings, dating as early as 16th century.

Approximately circa 450m from the southern boundary of the area is also scheduled monument Motte Castel. This is slightly raised at 150m aOD compared to the site of the hotel at 103m aOD. As the area already contains the hotel, it is unlikely that the visual from the monument will be largely affected.

It should however be noted that there is currently a mature tree line bounding the south of the site along the A4114 Pickford way. This along with the land drop of the site helps shield the built-up area maintaining natural views. The plans suggest this will be maintained. It is advised for integrity of the views especially from the raised scheduled monument that this tree line is

maintained and even advance to include evergreen species so that the site is shielded year-round.

In respect of the hotel, parts date back to the early 19th century or earlier and are characterised by Tudor Revival style northern frontage thought to be part of the renovations made by William Iliffe during his ownership of the property. The frontage is considered to be an important part of the appearance of the Conservation area.

A Desk-Based Assessment (DBA) for the Archaeology and Built Heritage by Pegasus Group was produced prior to this consultation. This included a Historic Environment Record (HER) search and details the historic background and risk to archaeology. The assessment confirms limited potential for Prehistoric and Roman remains although a single spot find of a Roman coin is noted.

There is significant potential for medieval and post-medieval archaeological remains that could inform the character of the medieval settlement and its settings. This could further inform research objectives as defined in the West Midlands Research Framework for the medieval period especially in relation to Urban settlements. Due to the archaeological potential and implications, further archaeological investigation is needed to assess the presence, nature, character and preservation of archaeological remains. A written scheme of investigation is required detailing a programme of archaeological evaluation which may be followed by further archaeological works dependent on the results. Archaeology officers have no objections subject to this being conditioned.

Impact upon neighbouring amenity

Whilst the visual appearance and impact of the development proposal is set out in the preceding section of this report, regard has also duly been given to the living environment for existing and future occupiers.

Considering the prospective occupiers of the dwellings, the Nationally Described Space Standards (NDSS) (2016), assists in providing an indication of the dimensions of dwellings. CCC's New Residential Design Guide SPD, adopted 2023, also sets out the expectation for amenity space for residential dwellings. In this case all eight units far exceed the internal dimensions for dwellings, the provision of amenity space also meets and exceeds the local requirements set out in the SPD. The quality of the development and the layout is also deemed conducive to providing quality living accommodation which will make a positive, and modest contribution to the city's market housing stock.

A number of objections have been received from surrounding residents indicating the development of the site will give rise to noise, overlooking and loss of privacy issues. The Council's adopted Residential Design Guide adopted a 12m separation distance (rear to side), and 20m (rear to rear) at first floor window level.

No 83 Birmingham Road is located west to the Proposed apartment block for Plots 1-9 at a separation distance of circa 6.4 metres. No 83 Birmingham Road have a number of windows to the side elevation that accommodate habitable rooms. On the side elevation of the apartment block fronting this dwelling there are two windows on the side elevation at first floor level and second floor level, these can be conditioned to be obscure glazed to avoid any

harmful overlooking as these are secondary windows to the living room/kitchen area to Plots 6 and 9. The proposed apartment block has a rear wing which accommodated Plots 1, 4 and 7, there are bathroom and kitchen windows on the side elevation of this rear wing at all three levels. This rear wing is to be located circa 20.3 metres from No 83 Birmingham Road; this is an acceptable relationship given the separation distance; thus, the proposed windows are not considered to cause harmful overlooking or loss of privacy.

Adjacent, North to the proposed apartment block for Plots 1-9 are dwellings No 64 Birmingham Road, No 72 Birmingham Road and No 1 Butchers Lane which are to be located at a minimum distance of circa 20.0 metres. This relationship is considered to be acceptable and there are no concerns in relation to loss of privacy or harmful overlooking given the separation distance.

No 79 Birmingham Road is located east to the proposed apartment block at a separation distance of circa 12.9 metres and the rear wing on No 79 Birmingham Road is at a distance of 25.8 metres. The current separation distance between No 79 Birmingham Road and Allesley Hotel is 5.2 metres. There are two windows at first floor level on the closest side wall on No 79 Birmingham Road, which both accommodate bedrooms and the window closest to the rear is a secondary window. A tree is to be planted to ensure that privacy and outlook is protected. The proposed windows on the side elevation are not considered to have a detrimental impact upon the amenity of this occupier with regards to harmful overlooking or loss of privacy. Plot 10 is to be located circa 8.03 metres away from rear wing, there are no windows within the rear wing, thus this distance is considered to be acceptable.

Proposed Plots 10 and 11 are located circa 20.0 metres from the rear end of No 77 Birmingham Road and are to have 10.9 metre rear garden depths. This relationship is considered to be acceptable.

Harry Caplan House is located west to the application site, Plots 22, 23 and 24 are proposed to be located to the rear of Harry Caplan House with a separation distance of circa 22.9 metres, which is considered to be an acceptable relationship.

The proposed garage is located to the rear of Nos 85 and 87 Birmingham Road at distance of circa 9.3 metres to the rear of these dwellings. Given the scale and position the garage it is not considered to overbear the amenity of these occupiers.

Not all the dwellings achieve at least 10 metres in rear garden depth, 12.0 metres side to rear relationship and 20 metres from habitable to habitable. However, a concerning relationship is between Plots 50 to 48 which have a separation distance of circa 8.1 metres; there are concerns with outlook of plot 48 and level changes. Looking at the finished floor levels plot 48 is circa 1.0 metre lower than Plot 50 so this would need a minimum separation distance of 14.0 metres to the blank two storey side rather than the standard 12.0 metres. On balance the relationship of the dwellings is considered to be satisfactory for future occupiers and gives neutral weight within the planning balance in compliance to Policy DE1 of the Coventry Local Plan.

Highways

The applicants, in support of the application, have undertaken a transport assessment. The development is anticipated to generate 28 two-way vehicle trips in the AM Peak and 27 in the PM peak. This equates to less than one trip every two minutes, which will have a negligible impact on the capacity of the local highway network. In comparison to the fallback position associated with the site's previous use as a hotel, the development is anticipated to generate five less trips in the AM peak and twelve less trips in the peak. A junction capacity assessment of the proposed site access junction has demonstrated that the junction operates well within capacity in the future year scenario.

The transport assessment has not been updated to reflect the updated layout and quantum of development. The Local Highway Authority have since raised this as a concern; however, the Local Planning Authority cannot request this so late in the process.

Vehicular access has been designed and is shown from Birmingham Road utilising a 5.5m wide carriageway. The access and visibility splays have been assessed, and Local Highway Authority officers have confirmed that they have no objection in relation to this and therefore the visibility splays are acceptable.

The Local Highway Authority initially had concerns with the layout, it was suggested that the layout is reconsidered with more use of shared spaces, variations in road geometry and many more ways at reducing traffic speeds down to 20mph or less. The proposed layout was amended, and the new layout is considered to be acceptable subject to any problems identified within the Road Safety Audit being addressed satisfactorily.

Two parking spaces per dwelling (2+ bedrooms) are proposed and 1 parking space per 1 bed dwelling. The proposed car parking is acceptable and complies with the Appendix 5 of the Coventry Connected SPD.

A Travel Plan was submitted and has been assessed. This would need to be updated and would be conditioned.

The Local Highway Authority have objected to the proposals as an acceptable refuse vehicle tracking, and a stage 1 Road Safety Audit have not been submitted in support of the application. The applicants are yet to submit this, and this will be reported in the late representations. This work is underway and until it is established that the internal layout, site access arrangement, proposed pedestrian crossing along Birmingham Road and vehicle tracking are safe and suitable, there remains a highway objection to the proposal.

Ecology and Biodiversity

An Ecological Impact Assessment was submitted in support of the application. The report states that Giant hogweed and yellow archangel is present on site, these are schedule 9 invasive species and therefore an INNS report is required. Furthermore, an updated survey to determine the spread of giant hogweed will be conducted prior to construction, given a significant period of time will have elapsed. This could be conditioned.

Clearance of vegetation and building demolition during the nesting bird season (taken to be March to August, though with some seasonal and species variations) would risk damaging or destroying active birds' nests. To prevent this, clearance of vegetation and building demolition

would be undertaken outside of the nesting bird season. If this isn't possible, a check of vegetation to be cleared would be undertaken within 24 hrs of the clearance taking place. If any active birds' nests were discovered, they would be left in place with a buffer of vegetation surrounding them until such time as the young had fledged or the nest was no longer active. This would be conditioned.

Proposals include the demolition, resulting in the loss of a bat roosting site. Bat roosts are legally protected and therefore a European Protected Species Licence (EPSL) from Natural England (NE) must be in place to legitimise the works to these buildings, prior to work commencing. A mitigation and compensation within the EPSL must be agreed with NE to minimise impacts to roosting bats under the Scheme. As per the bat mitigation guidelines, the timing and type of compensation is flexible due to the Site supporting a non-breeding day roost. Working methods are likely to include removal of the roof prior to work commencing to reduce the suitability for roosting bats due to the limitations of safe internal access. Compensation can include either bespoke bat features within the new buildings, or integrated bat boxes in the external walls. This would be conditioned.

Trees categorised as PRF (preliminary roost features) that are being retained will require a buffer zone implementing in line with the root protection area (RPA) of the tree which will be denoted using Heras fencing. For works inside the RPA of the tree(s), or for those PRF trees requiring removal or pruning, an inspection immediately prior to work commencing (the same morning) will be necessary. Those PRF's which are accessible and can be fully inspected, can also be inspected and blocked in advance of works commencing. However, this will be conducted as close to the work commencing as reasonably practicable. To ensure no net loss of roosting features, bat boxes will also need to be installed on nearby retained trees in the event that features are blocked in advance of works commencing. For trees with features which are not accessible, these will be sectionally felled and inspected ones on the ground. If they cannot be fully inspected, they will be left in situ for 24 hours to allow for any bats (if present) to disperse. Again, this would be conditioned.

Fence panelling associated with residential developments will reduce accessibility to foraging habitats for hedgehogs. Therefore, hedgehog access points (at least 13x13cm gaps) will be created within garden fences to prevent them from forming a barrier to the movement of hedgehogs within and through the Site. The gaps will need to be between properties as well as on the Site boundary to create a network of gardens in which the hedgehogs can forage. This has been placed in the form of a condition to ensure that this is implemented.

The woodland and scrub with the Application Site provide suitable habitats for foraging, commuting and sett creation. Dense bramble scrub prevented full accessibility across parts of the Application Site, however there were no notable mammal pathways traversing the scrub and enough of the Site was accessible to conduct an assessment. Two mammal holes indicative of badger were recorded within the woodland in the north of the Site. Following a two-week period of camera trap monitoring of the two mammals, both were assessed to not be in use by badger, therefore active badger setts are considered absent from the Application Site. There remains the transient risk of badger presence given the suitability of the habitats for foraging and commuting. Therefore, badger within the Application Site are considered to be of Site nature conservation importance. To make sure that no new badger setts have been created a walkover survey is required pre-commencement. This would also be conditioned.

A biodiversity impact assessment (BIA) has been undertaken for the Scheme. This involves making a comparison between the biodiversity value of habitats present within the Site prior to development (i.e. the 'baseline') and the biodiversity value of habitats following the completion of the Scheme (i.e. 'post development'). The biodiversity value of the Site is 14.88 units of Area based habitats and Post development; the Scheme would result in the loss of - 6.72 units of Area based units. This equates to a -45.18% loss.

The applicant has agreed to make a payment to fully compensate for Biodiversity Loss and to provide the statutory 10% gain.

The Council's Ecologist has been consulted and raise no objections to the proposed development. A series of conditions have been appended to the decision in relation to nesting birds, bat roost, lighting, Badger Walk over survey, Hedgehog enhancement, biodiversity features, INNS species, construction environmental management plan and habitat management and monitoring plan

Trees

The site lies within the Allesley Village Conservation Area where it is furnished with mature trees some of which are original specimens such as the Plane (TPO T17) and group Yew and Cedar trees (TPO G6 and G5) etc which provide the pleasant bosky appearance within this verdant urban setting. Many of the trees afford additional protection from their Conservation Area designation status as they form towards 'City of Coventry (Birmingham Road No.1) Tree Preservation Order 1967'

The application site consists of approximately 15 TPO Trees (T2, T3, T4, T5, T6, T7, T8, T11, T13, T16, T17, T20, T22, T23 and T24) and 4 Tree Groups (G2, G4, G5 and G6).

In this case the applicants submitted an arboricultural implication study, arboricultural demolition statement, CAVAT assessment of TPO and non TPO trees, tree protection and constraint plans.

The proposal will involve the removal of both TPO and Conservation trees mainly Category B and C Trees are to be removed. The Agent has confirmed that there are three main reasons that these trees will be removed, due to demolition, due to land remediation and to accommodate the proposed layout.

The Tree officers do not agree to all of the BS5837 U and C categories as described within the Arboricultural Implication Study.

The Tree officers requested the retention of the TPO group closest to the Allesley Hotel.

The applicant submitted an arboricultural demolition statement, which mentions that in a number of locations, mostly notably around trees T27, G13, G14, G15, T29 and, T30 the main building and retaining wall are; either influencing the spread of roots or, the trunks are growing against the structures to such an extent that, removal will damage the full root hierarchy and leave the trees unstable and at risk of premature collapse. In particular G13 – yew will be left

exposed and elevated with no protection for soil or roots, resulting in the risk of premature collapse.

A CAVAT assessment for the following TPO trees T6 (Sycamore), T18 (Ash), T19 (Ash), T24 (Ash), T27 (Holly), T29 (Holly), T30 (Cedar), T32 (Holly), G16 (Yew) & G13 (Yew) has a cumulative CAVAT value of £853,422.

A CAVAT assessment for the non TPO trees T11 (Yew) and G14 (Ash) has a cumulative CAVAT value of £187,404.

With regard to the on-site trees, our Tree officer disagrees with the technical evidence that has been provided, which sought to demonstrate that the TPO trees our tree officer wants to retain will inevitably be lost during demolition works.

The Trees officer has confirmed that there will be no need to remove any trees on the grounds of demolition or land remediation, as alleged within the submitted Arboricultural Demolition Statement and Demolition Land Remediation Tree Loss Plan. We have experienced such justifications for tree removals on sites in the past, and there has always a way and methods around these. The industries standard must be followed 'BS 5837: 2012 Trees in relation to design, demolition and construction – Recommendations' which has a dedicated chapter (Ch7) on methodology when trees need to be retained.

The Trees officer objects to the removal of these TPO trees and requires the following:

- Retention of the prime TPO trees within the site, which are the remaining TPO Groups G5 and G6 of 'City of Coventry (Birmingham Road No.3) Tree Preservation Order 1965', A revised Dimensioned Tree Protection Plan, illustrating distances between retained trunk centres and Tree Protection Measures. Officers would want to see the majority of TPO Groups G5 (x4 Yews, x6 Holly x2 Cedars) and G6 (x4 remaining Yews, 1 Holly) retained, with a possibility at allowing a few trees from these groups to be removed. These Yews are identified as: G13-B1 to the ACS-Arboricultural Survey Sept '24 within the TPO group G5, plus the Yew and Cedar tree group G16 located closer to Birmingham Road within the TPO group G6. Some of these historic, native Yew trees are hundreds of years old with 1.2m trunk diameters and qualify as potential veterans. Please note that the original 1965 justification for this TPO, still stands strong.
- A detailed Arboricultural Method Statement (AMS) is required for those demolition works which are within the vicinity of the couple of prime TPO tree groups Root Protection Areas and Crown Spreads, which we are now only requiring for retentions. The AMS must include a model Site Monitoring Sheet for approval for use
- The CAVAT assessment must include all the trees shown for removal, calculated at the Full CAVAT Method and to include the spreadsheet which shows the working out.
- The landscape plan must include the replacement of trees accepted for removal, to include their full costs, to include their purchase, delivery, planting and maintenance.

The applicant has not agreed to pay the CAVAT contribution, citing viability concerns, however, the applicant has confirmed that they will pay the BNG offsetting costs of approximately £210,000, when considering these elements in the round with the viability

concerns, the contributions secured via the BNG off-setting together with a comprehensive landscaping scheme to be secured via condition when weighed in the balance of the wider material consideration, it is deemed that the balance is tilted in favour of the development in this particular case.

Officers have conditioned Tree protection measures for the remaining trees on site.

Drainage and Flood Risk

When determining planning applications, Local Planning Authorities should ensure flood risk is not increased elsewhere and only consider development appropriate in areas at risk of flooding where, informed by a site-specific flood risk assessment following the Sequential Test, and if required the Exception Test, it can be demonstrated that:

- Within the site, the most vulnerable development is located in areas of lowest flood risk unless there are overriding reasons to prefer a different location; and
- Development is appropriately flood resilient and resistant, including safe access and escape routes where required, and that any residual risk can be safely managed, including by emergency planning; and it gives priority to the use of sustainable drainage systems.

Within the consultation, it was suggested that the site is liable to an increased flood risk, majority of the site lies within Flood Zone 1 and is deemed to be at a low risk of flooding. However, the very south of the site is within Flood Zone 2 & 3 as Pickford Brook runs west-east along the central reservation of the A4114 (Birmingham Road) which is located due south of the site. None of the proposed properties or access is located within the flood zone as such it is not considered that a flooding sequential assessment is required in this instance.

The LLFA raise no objections subject to a condition being appended to the decision securing full details of the proposed drainage system. As such the proposed development, with this condition attached accords with Policies EM4 and EM5 of the Local Plan.

Air Quality

An Air Quality Assessment has been submitted in support of this application. Modelled UK-AIR background concentrations, Defra PCM roadside concentrations, and local air quality monitoring data have been used to establish baseline air quality at the Site and surrounding locale. Predicted background concentrations of NO₂, PM₁₀ and PM_{2.5} at the Site and surrounding locale are all below the relevant AQALs. Local air quality monitoring closest to the Site also illustrates concentrations below of the annual mean AQAL for NO₂ in recent years.

The total emission 'damage costs' of the Proposed Development (sum of NO_x and PM_{2.5} emissions) have been calculated as based on the site generated traffic. Using Defra's Air Quality Appraisal Damage Costs Toolkit, the emissions generated have been applied to the damage costs spreadsheet resulting in the sums of £27,689. This is the indicative value of a package of air quality mitigation measures to offset the real-world impact of emissions from the Site.

Environmental Protection Officers can confirm that they agree with the findings of the Air Quality Assessment with regards to pollutants and predicted concentrations and agree to the amount proposed for air quality damage costs.

Officers agree with the proposed Type 1 mitigation measures, and to clarify one EV charging will be required per dwelling and Ultra-low NOx boilers installed. This could be conditioned in the event of an approval.

Noise

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high -quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

A noise assessment has been submitted. Two noise surveys have been carried out in order to establish the existing noise environment at the site, during the daytime and night-time periods, in accordance with current guidance. Road traffic noise from the Pickford Way (A4114), together with road traffic from Birmingham Road (A649), was dominant for the majority of the daytime and nighttime periods across the Site.

The proposed development layout, in conjunction with the embedded mitigation (the acoustic fence), have been used to create an acoustic model of the Site to predict noise impacts at PSRs and ESRs. Assumptions have been made about the details of the embedded mitigation.

With the implementation of the embedded mitigation, external daytime levels in some gardens exceeded the recommended level in accordance with BS8233. Therefore, proposed mitigation measures have been set out to reduce the noise level in outdoor living areas to a level below 55 dB(A). The embedded mitigation is as follows:

- A 2.4m high acoustic barrier at the southern boundary of the Site; and,
- 1.8m high close boarded fencing around the perimeter dwellings.
- All fences/acoustic barriers should include no perforations and have a minimum surface density of 15kgm⁻²

The proposed scheme of mitigation retains the measures described as part of the embedded mitigation but with some modifications. More specifically, the fencing surrounding the outdoor living areas of Plot 21 and Plot 22 are proposed to be heightened from 1.8m to 2.4m.

The daytime and night-time Internal Ambient Noise Levels (IANLs) have been calculated using the predicted façade noise levels. Based on these levels, an indicative acoustic performance specification has been provided for glazing and ventilators. The specification is considered the minimum required to achieve the guideline IANLs for sensitive spaces, in accordance with BS8233 and WHO guidance. Detailed calculations of façade noise break-in should be carried out once the detailed design has been developed to ensure that the IANL requirements are met. Details of the glazing and ventilation specification are outlined below. The red and worst-case scenario glazing will be applied to all the dwellings fronting Pickford Way and will be only on the principal elevation and the principal elevation of the apartment block fronting Birmingham Road.

The existing background sound level measured at the Site has been used to establish recommended plant noise limits at ESRs and PSRs. The daytime and night-time plant noise rating limits will ensure a low impact, in accordance with BS4142.

Environmental Protection officers have no objections subject to conditions for the provision of further information as per the report's conclusions including:

- Overheating mitigation measures and alternative means of ventilation where necessary.
- Prior agreement of further detailed acoustic calculations for façade noise break-in prior to any works commencing on site, to be provided as specifications for windows and ventilation
- Prior confirmation of any plant being installed and compliance with recommended plant noise limits before installation commences.

Contamination

A ground investigation report has been submitted and assessed by officers. Environmental Protection officers have requested a condition be appended to the decision in regard to a UXO assessment, asbestos survey prior to demolition works, a further site investigation.

Infrastructure requirements and developer contributions

Comments and objections have been submitted raise concerns regarding the impact on services such as schools and doctors, the highways network, drainage and flooding and other infrastructure pressures.

Paragraph 56 of the NPPF states local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations.

This includes setting out the levels and types of affordable housing provision required, along with other infrastructure (such as that needed for education, health, transport, flood and water management, and green and blue infrastructure). Where planning conditions are considered the acceptable way to mitigate against any harm that may arise, they have been noted under the relevant sections, with the specific condition given.

However, there are other areas which cannot be mitigated against solely by the imposition of conditions. These are discussed in more detail below.

Planning obligations under Section 106 of the Town and Country Planning Act 1990 (as amended), commonly known as s106 agreements, are a mechanism which make a development proposal acceptable in planning terms, that would not otherwise be acceptable. They are focused on site specific mitigation of the impact of development.

Please note that all the below S106 contributions are based on the 60 dwellings and will need amending. This will be reported in the late representations document.

NHS Trust:

NHS trust has requested a contribution of £77,933.51 which will go towards the gap in the funding created by each potential patient from this development within their first year of occupation.

NHS (ICB):

The contribution request would be for £125,04.00 which would be used on local improvement works to deliver additional capacity in local primary care facilities to support the population from this development.

In the locality shows that there are several practices providing primary care medical services to the area. The practices have been identified where they are within a 1.5km radius of the location as shown below:

Name of Practice	Address
Allesley Park Medical Centre	Whitaker Road, Coventry CV5 9JE
Allesley Village Surgery	Birmingham Road, Allesley CV5 9BD

Streetscene & Greenspace:

Streetscene & Greenspace have considered the revised plans which have reduced the number of dwellings to 60, the predicted development population to 130 and increased the required onsite greenspace provision to 857 sqm. Calculations have been updated and the onsite greenspace deficit contribution has reduced from £87,181 to £77,699. Officers welcome the addition of a LAP on site. Whilst the greenspace team would prefer the LAP to be more centrally located, officers accept that the location proposed is practical and acceptable. The LAP would have to be designed in accordance with the latest Fields in Trust guidance. A LAP only has a catchment distance of 100m so not all properties within the development fall within catchment of the on-site LAP and as detailed in the previous response the development site is outside safe walking distance of existing play provision at Allesley Park. To offset this, we would request a revised play contribution of £121,149.

Trees:

A CAVAT assessment for the following TPO trees T6 (Sycamore), T18 (Ash), T19 (Ash), T24 (Ash), T27 (Holly), T29 (Holly), T30 (Cedar), T32 (Holly), G16 (Yew) & G13 (Yew) has a cumulative CAVAT value of £853,422.

A CAVAT assessment for the non TPO trees T11 (Yew) and G14 (Ash) has a cumulative CAVAT value of £187,404.

This amounts to a total of £1,040,826. As stated earlier in the report, the developer has not agreed to this contribution.

BNG:

The expected offsetting cost for this would be approximately £210,000.

Air Quality:

Damage costs spreadsheet resulting in the sums of £27,689 for Air Quality will be spent towards air quality mitigation within the city.

Education:

The Education contribution below breaks down the education contribution in terms of total houses and on a per 2+bed dwelling basis. A total contribution of £654,699 is required.

Provision Stage:	Number of Children generated:	Provision:	Contribution requested:
Early years/ Primary	21	Towards improving education facilities (which may include the purchase, improvement and expansion of land and buildings) at St Christopher, St John CE, Whoberley Hall, Allesley Hall, Allesley and/or other schools near the development the area.	£357,346
Secondary	11	Towards improving education facilities (which may include the purchase, improvement and expansion of land and buildings) at Coundon Court, Cardinal Newman, President Kennedy and/or other schools near the development the area	£240,506
Post 16	2	Towards improving education facilities (which may include the purchase, improvement and expansion of land and buildings) at Coundon Court, Cardinal Newman, President Kennedy and/or other schools near the development the area.	£56,847

Sporting Provision:

The proposal contains no indoor sporting provision nor any formal playing pitches.

The population of the proposed development is estimated to be 144no based on an average household occupancy rate of 2.4. This additional population will generate additional demand for sports facilities. If this demand is not adequately met then it may place additional pressure on existing sports facilities, thereby creating or exacerbating deficiencies in facility provision.

The Sports Facilities Calculator and Playing Pitch Calculators indicate that a population of 144 in this local authority area will generate a demand for:

- Pools: 1.55 sqm of pool space costing £33,015
- Sports Halls: 0.04 courts costing £29,891
- Artificial Grass Pitches: 0.09 grass pitches costing £10,481
- Playing Pitches: 0.09 grass pitches costing £10,481
- Pitch maintenance costing £2,205 per annum (based on a 10-year maintenance period £22,050 in total)
- Ancillary Facilities: contribution towards a two-team changing facility costing £28,431

The total sport provision contribution is £129,991.

The agent has agreed all the contributions amounts, however a S106 agreement has not been signed.

Financial Viability Assessment:

A Financial Viability Assessment was submitted in support of the application. This has been assessed and the Council's position is that the scheme is viable with the agreed s106 contributions (minus CAVAT) and a surplus of circa £400k. This is without delving into a detailed cost analysis or challenging the benchmark land value. The applicant does not agree with this position. However, the applicant has confirmed that they are prepared to pay the S106 Contributions excluding the CAVAT payment.

The Tree Officer requests that the important line of TPO trees be retained within the site. However, the submitted arboricultural report identifies these as category U which will not be able to be retained during demolition. They further indicate that the scheme will not be viable if the trees are retained or if the requested CAVAT be met in addition to the s106 requirements. On balance, delivering this site for residential development, the acceptance of the other s106 requests and given that these trees are category U it is considered that their loss is acceptable.

The Local Planning Authority has now accepted the S106 Contributions excluding the CAVAT payment.

EQUALITY IMPLICATIONS

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

- (1) A public authority must, in the exercise of its functions, have due regard to the need to:
- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - a) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - b) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

CONCLUSION

The site is allocated for residential development in the emerging Local Plan and is acceptable in principle. The proposals will regenerate this vacant site with 55 market houses in the Conservation Area with a density and housing mix suitable for this location. The less than substantial harm that the development would have upon the loss of the TPO trees in the Conservation Area would be outweighed by the public benefit. The development will have minimal impact upon neighbour amenity of both existing and future occupiers. The proposed landscaping would provide a net gain in biodiversity on the site with contributions made to

improving infrastructure for public benefits. The proposed development is therefore considered to be acceptable subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS1, DS3, H1, H3, H4, H9, GE1, GE3, GE4, DE1, HE2, AC1, AC2, AC3, AC4, EM1, EM2, EM3, EM4, EM5 and EM7 of the Coventry Local Plan 2017 and the emerging Local Plan, together with the aims of the NPPF.

POLICY APPENDIX

National Planning Policy Framework (NPPF) December 2024.

Coventry Local Plan 2017 & Emerging Local Policy.

Supplementary Planning Guidance/ Documents (SPG/ SPD).

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Principle of development

The National Planning Policy Framework, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer set out in paragraph 78).

Part C of Paragraph 125 of the NPPF states that planning decisions should 'give substantial weight to the value of using suitable brownfield land within settlements for homes ... unless substantial harm would be caused, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land'..

Policy H3 of the Coventry Local Plan 2017 states that a suitable residential environment will include safe and appropriate access, have adequate amenity space and parking provision and be safe from environmental pollutants such as land contamination, excessive noise and air quality issues. Wherever possible new developments should also be:

- a) within 2km radius of local medical services;
- b) within 1.5km of a designated centre within the city hierarchy (policy R3);

- c) within 1km radius of a primary school;
- d) within 1km of indoor and outdoor sports facilities; and
- e) within 400m of a bus stop
- f) within 400m of publicly accessible green space.

Housing mix and density

Policy H4 of the Coventry Local Plan 2017 relates to housing mix, the policy states that the Council will require proposals for residential development to include a mix of market housing which contributes towards a balance of house types and sizes across the city in accordance with the latest Strategic Housing Market Assessment. That being said, part 2 of H4 states that in assessing the housing mix in residential schemes the Council may take into account circumstances where it may not be appropriate to provide the full range of housing types in accordance with the latest Strategic Housing Market Assessment, including; sites where particular house types and/ or building forms may be required in order to sustain or enhance the setting of a heritage asset.

Policy H9 of the Coventry Local Plan 2017 relates to residential density and states outside of the Ring Road (The A4053) a minimum of 35 dwellings per hectare (net) should be provided on Previously Developed Land.

Affordable housing

Policy H6 of the Coventry Local Plan 2017 relates to affordable housing and states that new residential schemes of 25 dwellings or more (excluding student accommodation), or more than 1ha, will be expected to provide 25% of all dwellings as affordable homes.

Design & Heritage

Policy DE1 of the Coventry Local Plan 2017 seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Policy HE2 of the Coventry Local Plan 2017 states 'Development proposals involving heritage assets in general and listed buildings in particular, should acknowledge the significance of the existing building and the area by means of their Siting, massing, form, scale, materials and detail.'

Paragraph 131 of the NPPF states the creation of high-quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

The National Planning Policy Framework, paragraph 135 states that "Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 139) “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”.

Archaeology

Policy HE2 of the adopted Coventry Local Plan 2017 seeks to ensure that development proposals do not cause harm to heritage assets in the form of archaeology, this is consistent with Paragraph 207 of the NPPF (2024).

Residential Amenity

Policies H3, H5 and DE1 of the adopted Coventry Local Plan 2017 seek to ensure that development proposals provide a suitable living environment for future occupiers, whilst also not resulting in a detrimental impact to existing/neighbouring residential occupiers, the NPPF reaffirms the importance of quality design.

Highways

Policy AC1 of the adopted Coventry Local Plan 2017 states ‘Accessible Transport Network’ states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure. Policy AC2 seeks to ensure that development proposals do not have a detrimental impact upon the road network and where required suitable mitigation should be provided as part of any approval, i.e. through obligations.

Policy AC3 of the adopted Coventry Local Plan 2017 acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed

on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

Parking provision should accord with the maximum standard expressed in Appendix 5 unless it has been clearly demonstrated that the site is in a highly accessible location where transport, by means other than the private car is a realistic alternative. In that respect lower levels of provision may be considered acceptable where the site is in close proximity to the City Centre, a train station, a high-quality rapid transport route or other public transport interchange and where there is a package of measures (proportionate to the scale of development) to enable sustainable means of transport. Any variation from the maximum standard must be fully justified by proportionate evidence.

Ecology/Biodiversity

Paragraph 187 of the NPPF (2024) states that planning decisions should minimise impacts on and provide net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures within the site.

Policy GE1 of the adopted Coventry Local Plan 2017 expects new development proposals to make provision for green infrastructure to ensure that such development is integrated into the landscape and contributes to improvements in connectivity and public access, biodiversity, landscape conservation, design, archaeology and recreation. Whilst also maintaining the quality and quantity of existing green infrastructure, and where the quantity is not retained, enhancement to quality is expected.

Policy GE3 of the adopted Coventry Local Plan 2017 states proposals for development will be permitted provided that they protect, enhance and/or restore habitat biodiversity. Development proposals will be expected to ensure that they:

- Lead to a net gain of biodiversity, where appropriate, by means of an approved ecological assessment of existing site features and development impacts.
- Protect or enhance biodiversity assets and secure their long-term management and maintenance.
- Avoid negative impacts on existing biodiversity; and
- Preserve species which are legally protected, in decline, are rare within Coventry or which are covered by national, regional or local Biodiversity Action Plans.

Trees

Paragraph 136 of the NPPF (2024) attributes trees to making an important contribution to the character and quality of urban environments and can also help mitigate and adapt to climate change. As such the NPPF is clear in that planning decisions should ensure that new streets are tree-lined and that appropriate measures are in place to secure the long-term maintenance of newly planted trees, and that existing trees are retained wherever possible.

Policy GE4 of the adopted Coventry Local Plan 2017 states the development proposals will be positively considered provided that:

- a) there is no unacceptable loss of, or damage to, existing trees or woodlands during or as a result of development, any loss should be supported by a tree survey.

- b) trees not to be retained as a result of the development are replaced with new trees as part of a well-designed landscape scheme; and
- c) existing trees worthy of retention are sympathetically incorporated into the overall design of the scheme including all necessary measures taken to ensure their continued protection and survival during construction

Drainage and Flood Risk

Policy EM4 of the adopted Coventry Local Plan 2017 states that all major developments must be assessed in respect of the level of flood risk from all sources and that all opportunities to reduce flood risk in the surrounding area must be taken, including creating additional flood storage. Furthermore, Policy EM5 of the adopted Coventry Local Plan 2017 states that all development must apply SUDs and should ensure that surface water runoff is managed as close to its source as possible.

Air Quality

Policy EM7 of the adopted Coventry Local Plan 2017 requires new developments to ensure that there is not an increase in air quality issues, this is supported and consistent with Paragraph 199 of the NPPF (2024) which states that planning decisions will have due regard for Air Quality Management Areas, of which the site and the rest of the city lies within.

Noise

Policy H1 of the Coventry Local Plan 2017 states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan 2017 states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

Developer contributions

Policy IM1 ‘Developer Contributions for Infrastructure’ of the Coventry Local Plan states that development will be expected to provide or contribute towards provision of: a) Measures to directly mitigate its impact and make it acceptable in planning terms; and b) Physical, social and green infrastructure to support the needs associated with the development. The development would trigger the need for the following contributions to be secured under a Section 106 Legal Agreement if the application was found to be acceptable.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason:	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:
Location Plan - Drawing No.1310-24-100

Planning Layout (Colour) DWG 1310-24-200 Rev L
Street Scenes DWG 1310-24-230 Rev C
Proposed Street Scene DWG 1694-24 Rev B
Street Scene Plots 51-57 DWG 1694-53 Rev A
Materials Plan DWG 1310-24-250 Rev D
Enclosures Plan DWG 1310-24-260 Rev D
Storey Height Plan DWG 1310-24-270 Rev D
Refuse Strategy Plan DWG 1310-24-280 Rev D
Detailed Landscape Proposals DWG C-2260-01 Rev D
Acoustic Barrier DWG 1310-24-290
Sections DWG 1310-24-240 Rev C
Plot 1-9 Floor Plans and Elevations - Option A DWG 1694-33 Rev D
Wentbridge Floor Plans DWG WEN/0-001 Rev B
Wentbridge Elevations DWG WEN/0-002 Rev B
Salbury Floor Plans DWG SAL/END/0-001.5 Rev B
Salbury Elevations DWG SAL/END/0-002 Rev C
Ripley Floor Plans DWG RIP/MID/0-001.5 Rev A
Ripley Elevations DWG RIP/MID/0-002 Rev C
Ripley Floor Plans DWG RIP/END/0-001.5 Rev D
Ripley Elevations DWG RIP/END/0-002.5 Rev D
Netherton Floor Plans DWG NET/DET/0-001 Rev A
Netherton Elevations DWG NET/DET/0-002 Rev A
Maltby Floor Plans DWG MAL/0-001 Rev A
Maltby Elevations DWG MAL/0-002 Rev A
Leyburn Floor Plans DWG LEY/DET/0-001 Rev A
Leyburn Elevations DWG LEY/0-002
Horbury Floor Plans DWG HOR/0-001 Rev B
Horbury Elevations DWG HOR/0-002 Rev A
Ferndale Floor Plans DWG FER/END/0-001.5 Rev A
Ferndale Elevations DWG FER/END/0-002 Rev A
Appleton Floor Plans DWG APP/0-001 Rev B
Appleton Elevations DWG APP/0-002 Rev B
Plots 51-53 Floor Plans and Elevations DWG 1694-52 Rev A
Plots 54-55 Floor Plans and Elevations DWG 1694-51 Rev A
Plots 56-57 Floor Plans and Elevations DWG 1694-50 Rev A
Garage Single - Plans- Drawing No.500/005 Rev A
Garage Double- Plans Drawing No.501/006 Rev A
85 Birmingham Road Garage - Drawing No.501/006 Rev A
Site Access Junction General Arrangement - Drawing No.07905-CI-A-0001 P02
Site Access Junction Geometry Plan - Drawing No.07905-CI-A-0002 P02
Site Access Junction Vehicle Swept Paths - Drawing No.07905-CI-A-0003 P02
Internal Visibility Assessment - Drawing No.07905-CI-A-0004 P01

	<p>Internal Layout Review DWG 07905-CI-A-0006 Transport Assessment, dated 30th October 2024 - Report Ref.0790 Sustainable Buildings Statement, dated October 2024 - Report Ref.009402 Issue 15 Rev B Statement of Community Involvement, dated November 2024 Planning Statement, dated November 2024 Vacant Building Credit Statement dated January 2026 Design and Access Statement, dated October 2024 Historic Building Recording, dated 7th November 2024 - Report Ref.P24-0554 Structural Survey and Condition Report dated 20th November 2024 Archaeology and Built Heritage Desk-Based Assessment dated December 2024 Topographical Survey - Sheet 1 - Drawing No.U0244 Topographical Survey - Sheet 2 - Drawing No.U0244 Demolition Land Remediation Tree Loss Plan DWG Allesley Hotel Rev 1 Arboricultural Implication Study dated April 2025 Arboricultural Demolition Statement dated 16th July 2025 Arboricultural Survey Tree Protection Plan - Drawing No.TPP/5180/Y/300 Ecological Impact Assessment dated November 2024 BNG Metric Biodiversity Impact Assessment, as submitted 18th November 2024 BIA Baseline Habitat Plan - Drawing No.RSE_8026_BIAB_1024_V1R2 BIA Baseline Habitat Plan - Drawing No.RSE_8026_BIAP_1024_V1R2 Surface Water Network, dated 25th October 2024 - Report Ref.2024-10-25 Surface Water Supplementary Soaking Testing, dated 18th October 2024 - Report Ref.: 210-24-038.3091 Supplementary Soakage Testing letter dated 15th July 2025 SAP Calculations for Houses, as submitted 18th November 2024 Impermeable Area Plan DWG M44595-JNP-92-XX-DR-C-2001 Rev P02 Exceedance Flow Layout DWG M44595-JNP-92-XX-DR-C-2002 Rev P03 Proposed Drainage Strategy DWG M44595-JNP-92-XX-DR-C-2003 Rev P03 Flood Risk Assessment and Drainage Strategy dated October 2024 Site Investigation, dated April 2022 - Report No.210-21-038-09 Air Quality Assessment, dated 5th November 2024 - Report Ref.33873-HYD-XX-ZZ-RP-Y-2001_P03 Noise Impact Assessment dated 23rd July 2025 Rapid Health Impact Assessment, dated November 2024 - Report Ref.664198</p>
Reason:	<i>For the avoidance of doubt and in the interests of proper planning.</i>
3.	<p>Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the</p>

	development and thereafter shall be retained and shall not be removed or altered in any way.
Reason:	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
4.	Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the dwellings hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.
Reason:	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
5.	The residential accommodation hereby permitted shall not be occupied unless and until the bin storage areas have been provided in full accordance with the details shown on the approved plans and thereafter they shall remain available for use at all times and shall not be removed or altered in any way.
Reason:	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2017.</i>
6.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, the first and

	second floor windows to be formed in the west side facing elevation of the Apartment block for Plots 1-9 hereby permitted shall only be glazed or re-glazed with obscure glass and any opening part of any window will be at least 1.7m above the floor of any room in which the window is installed.
Reason:	<i>In the interests of the amenities of the occupiers of nearby properties in accordance with Policy DE1 of the Coventry Local Plan 2017.</i>
7.	The development hereby permitted shall only proceed in strict accordance with a scheme for targeting and utilising local people for construction and employment, which shall be submitted to an approved in writing by the Local Planning Authority.
Reason:	<i>To secure local employment in accordance with the City Council jobs strategy and Policy JE7 of the Coventry Local Plan 2017.</i>
8.	<p>Prior to the commencement of the development hereby permitted, a scheme shall be submitted to, and approved in writing by, the Local Planning Authority (LPA) for the provision of a Sustainable urban Drainage System (SuDS) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:-</p> <ul style="list-style-type: none"> • Open Air storage or attenuation in the form of a wet pond, dry basin, swale or other similar surface feature, aimed at managing water quantity, quality and introducing biodiversity at the ground surface. • General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so). • Water quality control mediums such as permeable paving, filter drains, rain gardens, ponds or swales aimed at improving the quality of water passing through the system either above or below ground. • The use of water harvesting and grey water reuse at individual plot level within the development. This consideration should include both the deployment of water butts, and dedicated tank-based storage where appropriate and any reasons for NOT using should be clearly stated. • The deployment of green roof and/or wall technology on suitable structures within the development. All in accordance with Coventry City Council's Supplementary Planning Document "Delivering a more Sustainable City". <ul style="list-style-type: none"> i. The stormwater discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a suitable vortex flow control mechanism (or mechanisms) limiting the total site discharge offsite to Qbar greenfield rates or

	<p>5 l/s, whichever is greater. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the CCC SFRA.</p> <p>ii. A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.</p> <p>iii. Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials. This should be covered under environmental risks in the Site Specific CEMP.</p> <p>iv. Evidence must be provided to show the management of overland flow routes in the event of exceedance or blockage of the drainage system. Details should include demonstration of how the buildings and adjacent highway infrastructure will be protected in such an event.</p> <p>v. Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway.</p> <p>vi. Prior to commencement of the demolition process, any drainage to be retained should be marked on a plan, and at the ground surface, and should be capped to prevent the ingress of demolition or construction materials in the vicinity.</p> <p>vii. Upon completion of demolition works, the buried drainage in the vicinity of the site should be inspected by CCTV to ensure that the services have not been damaged and that the drains are not blocked.</p> <p>viii. Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.</p> <p>ix. Foul drainage plans The drainage details shall be installed in full accordance with the approved documentation and thereafter shall be maintained and shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2017 and Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.</i></p>
9.	<p>Prior to their incorporation into the development hereby permitted, a package of measures to minimise the impact of the development upon local air quality</p>

	<p>shall be submitted to and in writing by the Local Planning Authority. These measures shall have consideration of the following: -</p> <p>(i) Provision for electric vehicle recharging points or dwellings to be made 'EV-ready' so a power connection is available to install an EV charge point as required;</p> <p>(ii) Use of low NOx boilers (to have a maximum dry NOx emissions rate of 40mg/kWh);</p> <p>(iii) A construction method statement demonstrating how dust and noise emissions are to be mitigated during construction. The measures shall be installed in full accordance with the approved details prior to first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
Reason:	<i>To mitigate the impacts of development on air quality during and post construction in accordance with Policies DS3 & EM7 of the Coventry Local Plan 2017.</i>
10.	The development hereby permitted shall not commence unless and until a Desk Study for Potential Unexploded Ordnance Contamination and a risk mitigation strategy has been submitted to and approved in writing by the Local Planning Authority. The development shall only proceed in strict accordance with the approved details.
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF.</i>
11.	The development hereby permitted shall not commence unless and until an Asbestos Survey has been submitted to and approved in writing by the Local Planning Authority. The development shall only proceed in strict accordance with the approved details.
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF.</i>
12.	<p>The development hereby permitted shall not commence until the following noise details have been submitted to and approved in writing by the Local Planning Authority.</p> <ul style="list-style-type: none"> • Overheating mitigation measures and alternative means of ventilation where necessary. • Prior agreement of further detailed acoustic calculations for façade noise break-in prior to any works commencing on site, to be provided as specifications for windows and ventilation • Prior confirmation of any plant being installed and compliance with

	<p>recommended plant noise limits before installation commences. The development shall only proceed in strict accordance with the approved details.</p>
Reason:	<p><i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017 and the aims and objectives of the NPPF.</i></p>
13.	<p>No demolition/ development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological works, to be defined in a Written Scheme of Investigation that has been submitted to and approved in writing by the local planning authority. The strategy shall include details of the following:</p> <ul style="list-style-type: none"> - The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works; - The identification and assessment of the extent, character and significance of archaeological remains within the application area; - The assessment of the impact of the proposed development on the archaeological remains; - Measures to ensure the preservation in situ or by record of archaeological features of identified importance; - Methodologies for the recording and recovery of archaeological remains, including artefacts and ecofacts; -The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material - A timetable of works in relation to the proposed development; - A list of all staff involved in the implementation of the strategy, including sub-contractors and specialists, their responsibilities and qualifications <p>The development shall not be occupied until any archaeological mitigation investigation and post investigation assessment has been completed in accordance with the programme set out in the approved written scheme of investigation, and provision made for analysis, publication and dissemination of results and archive deposition has been secured.</p>
Reason:	<p><i>The submission of these details prior to the commencement of development is fundamental to mitigate the effect of the works associated with the development upon any heritage assets and to ensure that information regarding these heritage assets is preserved by record for this and future generations in accordance with Policy HE2 of the Coventry Local Plan 2017.</i></p>
14.	<p>No development (including any demolition or preparatory works) shall commence unless and until a walkover badger survey has been undertaken by a qualified ecologist to ensure that there have been no setts created within the</p>

	<p>application site since the date of the badger survey provided in support of the application. The results of this survey work together with the scope and timing of any necessary mitigation measures shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any works. The mitigation measures shall be undertaken in full accordance with the approved details and timetable of works and once undertaken shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i></p>
15.	<p>Prior to the first occupation of the development hereby permitted, details of general ecological habitat enhancement measures and hedgehog mitigation measures shall be submitted to and approved in writing by the Local Planning Authority. Such measures shall include; retention and management of boundary vegetation, and hedgehog friendly boundary fencing and gates. The habitat enhancement measures shall be undertaken in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i></p>
16.	<p>Prior to the first occupation of the development hereby permitted details of Bat boxes, Bird boxes, hibernacula features, bee bricks, and log piles shall be submitted to and approved in writing by the Local Planning Authority. The Bat boxes, Bird boxes, hibernacula features, bee bricks, and log piles shall be fully installed in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i></p>
17.	<p>No removal of trees/ hedges/ shrubs/ or demolition of buildings/ structures shall take place between 1st March and 31st August (inclusive) unless a survey to assess the nesting bird activity on the site during this period has been undertaken by a qualified surveyor, and a scheme to protect any nesting birds identified on the site has first been submitted to and approved in writing by the Local Planning Authority. No trees/ hedges/ shrubs shall be removed, or</p>

	buildings/ structures shall be demolished between 1st March and 31st August (inclusive) other than in strict accordance with the approved bird nesting protection scheme.
Reason:	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i>
18.	No development (including any demolition or preparatory works) shall commence unless and until a Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall include the following: (a) a risk assessment of potentially damaging construction activities;(b) identification of biodiversity protection zones (e.g. buffers to trees and hedges or to protected wildlife habitat); (c) practical measures (both physical measures and sensitive working practices, such as protective fencing, exclusion barriers and warning signs) to avoid or reduce impacts during construction (particularly in relation to works within canopy and root protection areas for hedgerows or protected trees); (d) the location and timing of sensitive works to avoid harm to biodiversity features (in relation to breeding birds in particular); (e) the times during construction when specialist ecologists need to be present on site to oversee works (as required); (f) responsible persons and lines of communication; and (g) the role and responsibilities on site of an Ecological Clerk of Works (ECoW) or similarly competent person (as necessary). The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details.
Reason:	<i>In order to safeguard protected and/or priority species from undue disturbance and impacts, noting that initial preparatory works could have unacceptable impacts; and in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2017.</i>
19.	Prior to the first occupation of the development hereby permitted a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority. The content of the LEMP shall include the following: a) Description and evaluation of features to be managed; b) Ecological trends and constraints on site that might influence management; c) Aims and objectives of management, including mitigation and enhancement for species identified on site; d) Appropriate management option for achieving aims and objectives; e) Prescriptions for management actions; f) Preparation of a work schedule (including an annual work plan capable of

	<p>being rolled forward over a ten-year period);</p> <p>g) Details of the body or organisation responsible for implementation of the plan, along with funding mechanism(s) for that body or organisation;</p> <p>h) Ongoing monitoring and remedial measures, including where monitoring shows that conservation aims and objectives of the LEMP are not being met. The LEMP plan shall be implemented in strict accordance with the approved details within three months of the first occupation of the development and thereafter shall not be withdrawn or amended in any way.</p>
Reason:	<i>In order to safeguard and enhance habitat on or adjacent to the site in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2017.</i>
20.	<p>Prior to the installation of any street lighting or any external lighting to be fixed to any building(s), an external lighting strategy (including a plan) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to restrict light spillage onto foraging corridors. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.</p>
Reason:	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i>
21.	<p>No development (including any demolition or preparatory works) shall commence unless and until a scheme for the retention of the bat roost(s) and the retention of the existing entry/emergence routes, or the provision of alternative roost space and new entry/emergence routes, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include a programme for the implementation of the development which avoids any building or other operations likely to affect the bat roost being undertaken between April- September (inclusive), whilst also ensuring that at no time provision for roosting bats is lost from the site. The development shall only be carried out in strict accordance with the approved scheme.</p>
Reason:	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i>
22.	<p>No development (including any demolition or preparatory works) shall commence unless and until an Invasive Non-Native Species Protocol (INN-SP)</p>

	has been submitted to and approved in writing by the Local Planning Authority. The INNSP shall detail the timing and method of containment, control and removal of Japanese Knotweed from the site. The development shall only proceed only in full accordance with the measures identified in the approved INNSP.
Reason:	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017 and the advice contained within the NPPF 2024.</i>
23.	No development (including any demolition or preparatory works) shall commence unless and until a scheme ('the offsetting scheme') for the offsetting of biodiversity impacts at the site has been submitted to and approved in writing by the Local Planning Authority. The offsetting scheme shall include: a) a methodology for the identification of receptor site(s); b) the identification of receptor site(s); c) details of the offset requirements of the development (14.88 units) (in accordance with the recognised offsetting metrics standard outlines in the Defra Metrics Guidance dated March 2012, or any document that may update or supersede that guidance). d) the provision of arrangements to secure the delivery of the offsetting measures (including a timetable for their delivery); and e) a management and monitoring plan (to include for the provision and maintenance of the offsetting measures in perpetuity). The offsetting scheme shall be implemented in strict accordance with the approved details within three months of the first occupation of the development hereby permitted and thereafter shall not be withdrawn or amended in any way.
Reason:	<i>In order to safeguard and enhance habitat and secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
24.	Prior to the first occupation of the development hereby permitted, a landscape management plan, including long term design objectives, long term management responsibilities and maintenance schedules for all landscape areas (other than domestic gardens within the curtilage of a single dwellinghouse), shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall be implemented as soon as the approved landscaping is carried out and shall not be withdrawn or altered in any way.
Reason:	<i>To ensure a satisfactory standard of appearance over the lifetime of the development in the interests of the visual amenities of the area in accordance</i>

	<i>with Policy GE1 and DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
25.	No part of the residential accommodation hereby permitted shall be occupied unless and until the external amenity space has been laid out and provided in full accordance with the details shown on the approved plans and thereafter shall remain available for use at all times.
Reason:	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
26.	No development or other operations (including any demolition, site clearance or other preparatory works) shall be commenced unless and until tree and hedge protection measures have been submitted to and approved in writing by the Local Planning Authority. The tree protection measures shall safeguard against damage or injury during construction works (in accordance with Clause 7 of British Standard BS5837 - 2012 Trees in relation to design, demolition and construction - Recommendations) all trees on the site, or those tree(s) whose root protection areas or outer crowns may extend within the site and which are within the City of Coventry Allesley Village Conservation Area. In particular no excavations, site works, stock piling, trenches or channels shall be cut or pipes or services laid, no fires shall be lit within 10 metres of the nearest point of the Root Protection Area or outer crown of any protected tree(s); no equipment, machinery or structure shall be located within this zone; no mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area, or any other works be carried out in such a way as to cause damage or injury to the tree(s) by interference with their root structure and that no soil or waste shall be deposited on the land in such a position as to be likely to cause damage or injury to the tree(s). The approved mitigation and / or protection measures shall be put in place prior to the commencement of any works and shall remain in place during all construction work.
Reason:	<i>To protect those trees which are of significant amenity value to the Conservation Area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3, GE4 and HE2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
27.	Prior to occupation of the [BUILDING/DEVELOPMENT] hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in

	<p>full accordance with the approved details prior to first occupation of the building and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.</p>
Reason:	<p><i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2017 and the emerging Local Plan.</i></p>
28.	<p>No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to control the presence of asbestos; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>
Reason:	<p><i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i></p>
29.	<p>Prior to the first occupation of the development hereby permitted, a Travel Plan shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals (including a timetable and methods of monitoring the performance of the Plan), to promote travel by sustainable modes, and shall be implemented in accordance with the details specified therein and shall not be amended in any way.</p>

Reason:	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3,AC3 and AC4 of the Coventry Local 2017 and the emerging Local Plan.</i>
30.	None of the dwellings hereby permitted shall be occupied unless and until the car parking provision for that dwelling has been constructed or laid out, and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all time and shall not be removed or altered in any way.
Reason:	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1, AC2 and AC3 of the Coventry Local Plan 2017.</i>
31.	Prior to commencement of development, full engineering and construction details of the vehicular access hereby approved shall be submitted to and approved in writing by the Local Planning Authority. The approved works shall be implemented prior to the first occupation of the development and retained thereafter.
Reason:	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2017.</i>
32.	Before the vehicular access hereby permitted is first used, visibility splays of 45m are required to the west of the access and visibility splays of 43m are required to the east when measured 2.4m back from the near side edge of the carriageway. The visibility splays shall be retained thereafter with nothing in the visibility splay exceeding 600mm in height.
Reason:	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2017.</i>
33.	Prior to commencement of development, full engineering and construction details of the pedestrian crossing on Birmingham Road shall be submitted to and approved in writing by the Local Planning Authority. The approved works shall be implemented prior to the first occupation of the development and retained thereafter.
Reason:	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2017.</i>

34.	Prior to commencement of development, details of a scheme to improve Public Footpath 290 that connects from Birmingham Road to Winsford Avenue has been submitted to and approved in writing by the Local Planning Authority. The approved works shall be implemented prior to the first occupation of the development.
Reason:	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2017.</i>

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Application boundary

Revision	Date	Amendment	Initials

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Client **AVANT homes**

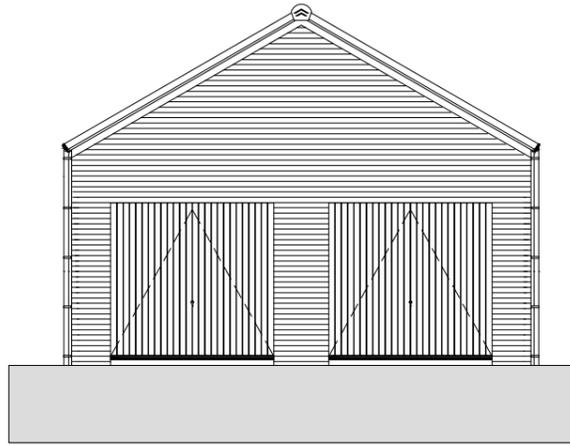
Project **FORMER ALLESLEY HOTEL
 BIRMINGHAM ROAD,
 COVENTRY**

Title **LOCATION PLAN**

Dwg No. **1310-24-100**

Revision	Scale @A3
.	1:1250
Drawn	Date
DS	OCT 2024

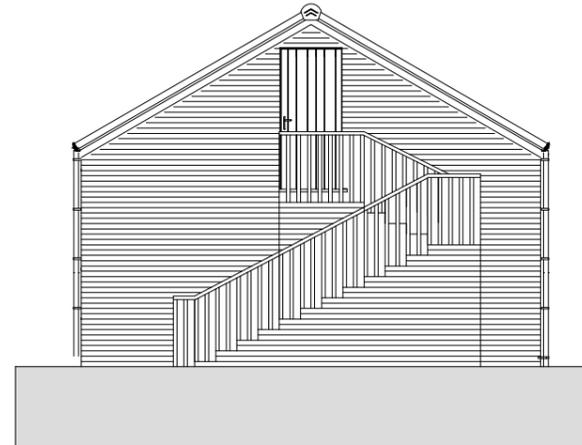




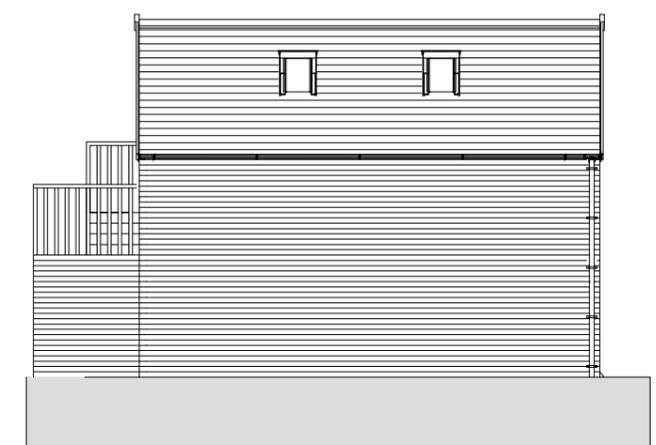
Front Elevation.
1 : 100



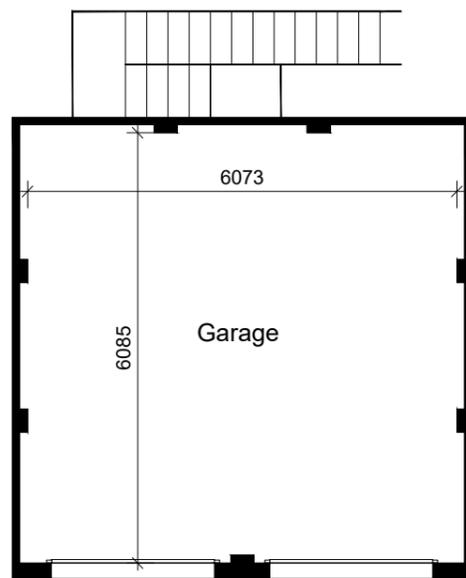
Left Elevation.
1 : 100



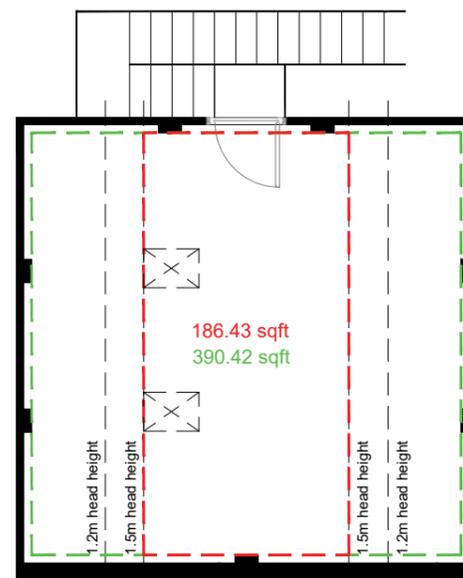
Rear Elevation.
1 : 100



Right Elevation.
1 : 100



Ground Floor Plan
1 : 100



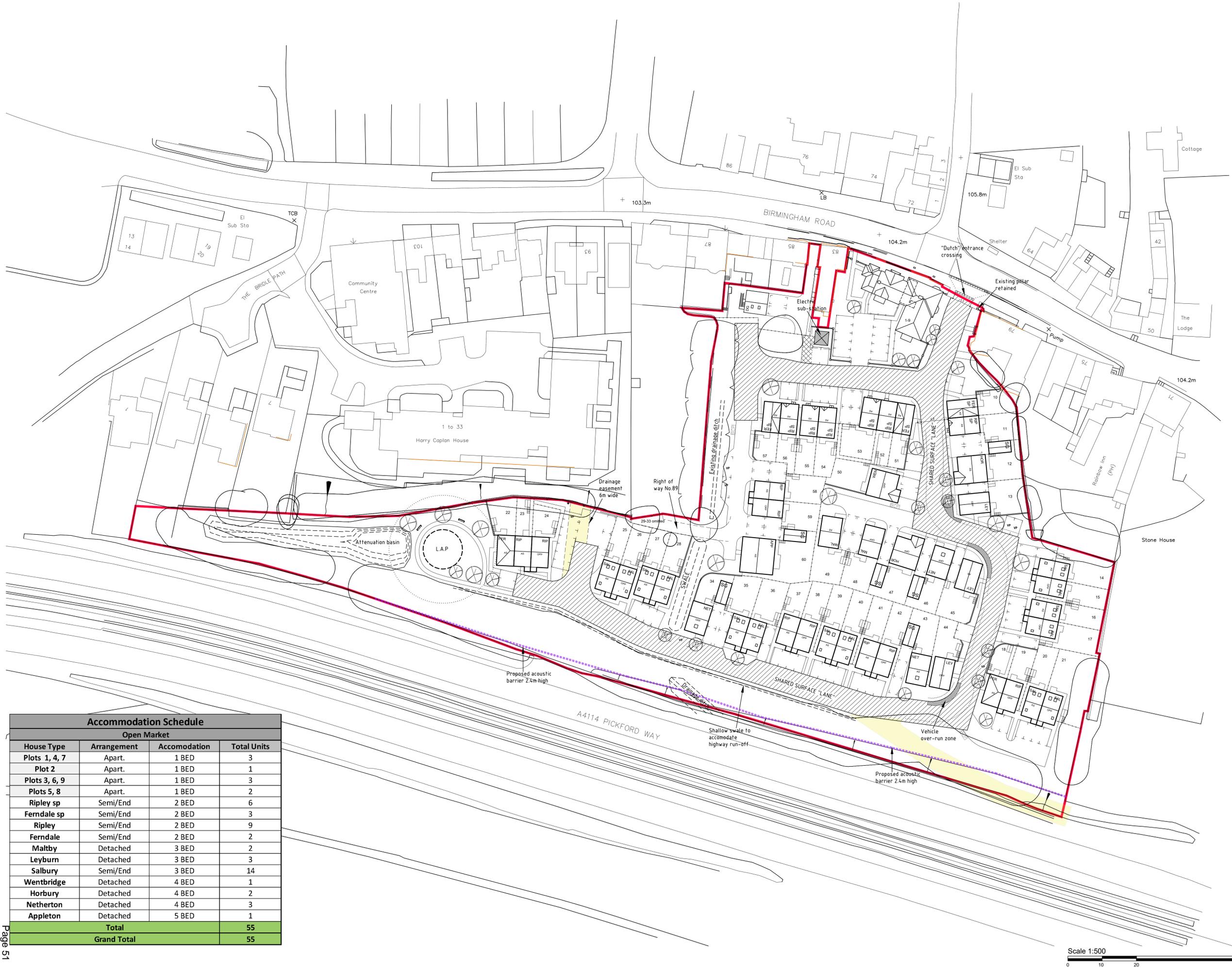
First Floor Plan
1 : 100

A	24.09.2024	BA	STAIRS AND WINDOWS AMENDED TO REFLECT LAYOUT
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV22 SPECIFICATION			
PLANNING			
Area:		36.27 m ² / 390.42sq.ft.	
DATE:	FEB 2023	SCALE @ A3:	1 : 100
DWG TITLE:	85 Birmingham Road Garage		
HOUSE TYPE:	Garage - Double - Gable Front		
COINS REFERENCE:	GgeDD		
DRWG No:	501/006		REV: A



KEY

- Indicative tree planting see detailed landscape dwg.
- Existing trees to be retained
- Existing trees to be removed
- Indicates alternate surface treatment - refer to materials plan
- Application boundary
- Proposed acoustic barrier 2.4m high
- 1.8m brick screen wall
- 1.8m timber fence
- Other boundary treatment - refer to enclosures plan
- Private bin storage (slabbed)
- Shared bin collection point (slabbed)
- Cycle storage shed



L	16.02.24	Southern apartment block replaced with 4 no houses.	DS
K	14.08.25	Trees adjusted to suit landscape plans.	DS
J	04.07.25	Plots 22-44 re-planned, plots 50 & 60 substituted. Over-run areas shown to street bands.	DS
H	28.04.25	Plots 45 & 46 swapped, sub-station added.	DS
G	23.04.25	Details added, "dutch" entrance shown.	DS
F	10.04.25	Minor amendments, southwest corner re-planned, schedule updated.	DS
E	26.03.25	Scheme re-drawn following LA comments.	DS
D	04.11.24	Cycle stores shown, wall railings added to front of plots 1-9.	DS
C	15.10.24	Plot 60 reverted to RIP, highway bend adjacent plot 58 widened slightly, parking court to plots 35-39 altered, attenuation pond re-designed.	DS
B	04.10.24	Plot 49 handed, plot 60 changed to FERALEE, plots 58 & 59 handed due to levels.	DS
A	30.09.24	Tree survey information updated, plots 21-26 altered position, attenuation pond altered shape slightly, private drive to front of plot 62 extended, frontage apartments & service roof plans altered to reflect KRT designs.	DS

Accommodation Schedule			
Open Market			
House Type	Arrangement	Accommodation	Total Units
Plots 1, 4, 7	Apart.	1 BED	3
Plot 2	Apart.	1 BED	1
Plots 3, 6, 9	Apart.	1 BED	3
Plots 5, 8	Apart.	1 BED	2
Ripley sp	Semi/End	2 BED	6
Ferndale sp	Semi/End	2 BED	3
Ripley	Semi/End	2 BED	9
Ferndale	Semi/End	2 BED	2
Maltby	Detached	3 BED	2
Leyburn	Detached	3 BED	3
Salbury	Semi/End	3 BED	14
Wentbridge	Detached	4 BED	1
Horbury	Detached	4 BED	2
Netherton	Detached	4 BED	3
Appleton	Detached	5 BED	1
Total			55
Grand Total			55

Client: **AVANT homes**

Project: **FORMER ALLESLEY HOTEL BIRMINGHAM ROAD, COVENTRY**

Title: **PLANNING LAYOUT**

Dwg No: **1310-24-200**

Revision: L Date: 15/09/24 Scale @A1: 1:500

Drawn: DS Date: SEPT 2024



Notes
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- KEY**
- Indicative tree planting see detailed landscape dwg.
 - Existing trees to be retained
 - Existing trees to be removed
 - Indicates alternate surface treatment - refer to surface materials plan
 - Application boundary
 - Proposed acoustic barrier 2.4m high
 - 1.8m brick screen wall
 - 1.8m timber fence
 - Other boundary treatment - refer to enclosure plan
 - Private bin storage (slabbed)
 - Shared bin collection point (slabbed)
 - Cycle storage shed

L	16.02.24	Southern apartment block replaced with 4no. houses.	DS
K	14.08.25	Trees adjusted to suit landscape plans.	DS
J	04.07.25	Plots 22-44 re-planned, plots 50 & 60 substituted. Over-run areas shown to street bands.	DS
H	28.04.25	Plots 45 & 46 swapped, sub-station added.	DS
G	23.04.25	Details added, "dutch" entrance shown.	DS
F	10.04.25	Minor amendments, southwest corner re-planned, schedule updated.	DS
E	26.03.25	Scheme re-drawn following LA comments.	DS
D	04.11.24	Cycle stores shown, wall railings added to front of plots 1-5.	DS
C	15.10.24	Plot 60 reverted to RHP, highway bend adjacent plot 48 widened slightly, parking court to plots 31-39 altered, attenuation pond re-designed.	DS
B	04.10.24	Plot 49 handed, plot 60 changed to FERNEE, plots 58 & 59 handed due to levels.	DS
A	30.09.24	Tree survey information updated, plots 21-26 altered position, attenuation pond altered shape slightly, private drive to front of plot 62 extended, frontage apartments & terrace roof plans altered to reflect MRT designs.	DS

Accommodation Schedule			
Open Market			
House Type	Arrangement	Accommodation	Total Units
Plots 1, 4, 7	Apart.	1 BED	3
Plot 2	Apart.	1 BED	1
Plots 3, 6, 9	Apart.	1 BED	3
Plots 5, 8	Apart.	1 BED	2
Ripley sp	Semi/End	2 BED	6
Ferndale sp	Semi/End	2 BED	3
Ripley	Semi/End	2 BED	9
Ferndale	Semi/End	2 BED	2
Maltby	Detached	3 BED	2
Leyburn	Detached	3 BED	3
Salbury	Semi/End	3 BED	14
Wentbridge	Detached	4 BED	1
Horbury	Detached	4 BED	2
Netherton	Detached	4 BED	3
Appleton	Detached	5 BED	1
Total			55
Grand Total			55

Scale 1:500
 0 10 20 30

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Client
AVANT homes
 Project
FORMER ALLESLEY HOTEL
BIRMINGHAM ROAD,
COVENTRY
 Title
PLANNING LAYOUT
 Dwg No.
1310-24-200
 Revision
 L Scale @A1
 DS Date
1:500
SEPT 2024



PLOTS 22-24 FFL 96.30
 PLOTS 25-26 FFL 96.70
 PLOTS 27-28 FFL 96.70
 PLOT 34 FFL 96.35
 PLOTS 35-36 FFL 96.25
 PLOTS 37-38 FFL 96.20
 PLOTS 39-40 FFL 96.40

STREET SCENE A-A...



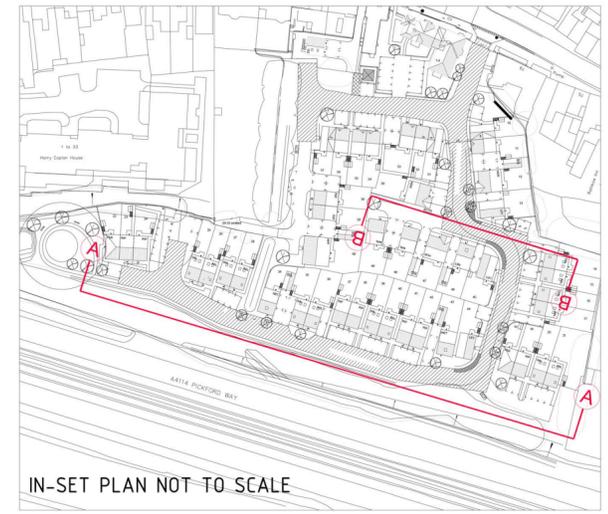
PLOTS 41-42 FFL 96.70
 PLOT 43 FFL 97.10
 PLOT 44 FFL 98.75
 PLOTS 18-19 FFL 98.45
 PLOTS 20-21 FFL 98.70

STREET SCENE A-A CONTINUED...



PLOT 14 FFL 101.00
 PLOT 44 FFL 100.50
 PLOT 45 FFL 101.60
 PLOT 46 FFL 101.80
 PLOT 47 FFL 101.40
 PLOT 48 FFL 101.10

STREET SCENE B-B



IN-SET PLAN NOT TO SCALE

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C	18.02.26	Southern apartments replaced.	DS
B	07.07.25	Updated to latest site plan, street scene A-A amended.	DS
A	02.05.25	Updated to latest site plan.	DS
Revision	Date	Amendment	Initials

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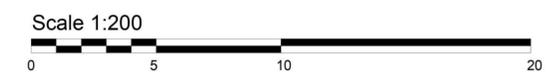
Project **FORMER ALLESLEY HOTEL**
 BIRMINGHAM ROAD,
 COVENTRY

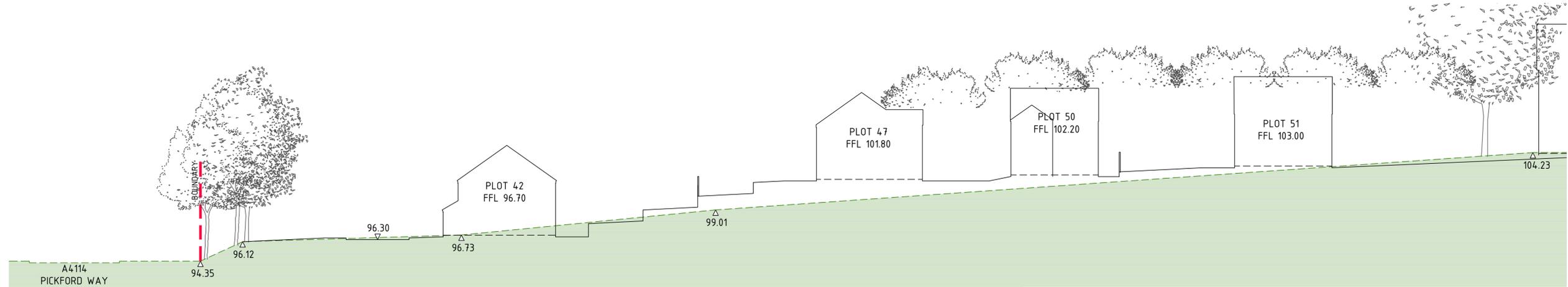
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Dwg No. **1310-24-230**

Revision **C** Scale @A2 **1:200**

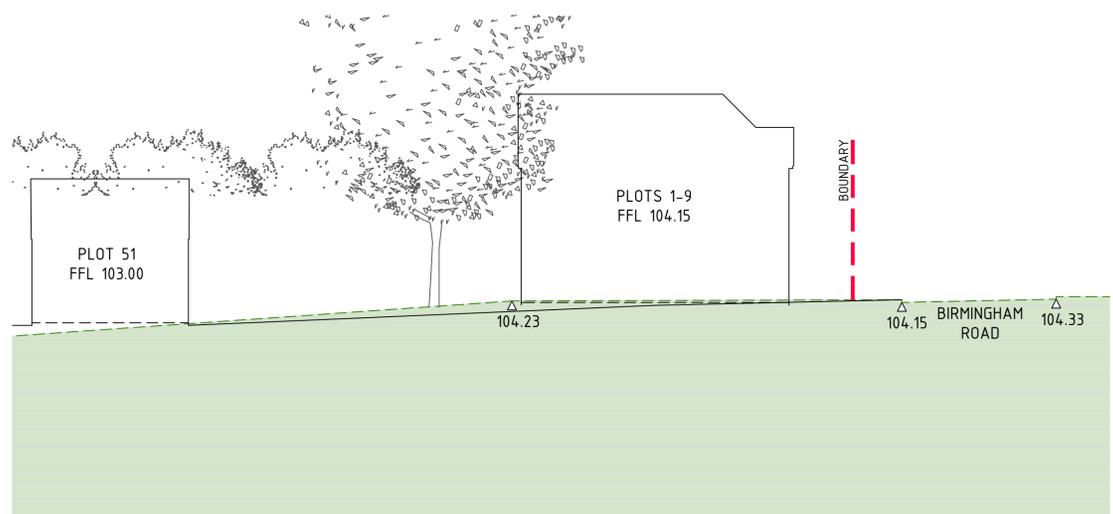
Drawn **DS** Date **OCT 2024**



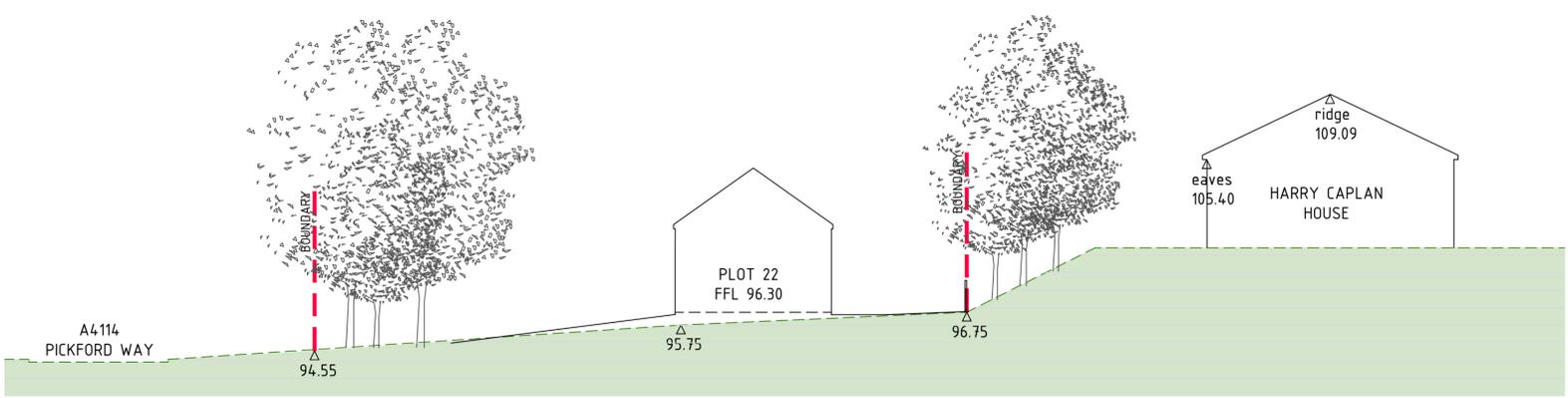


SECTION A-A...

----- EXISTING GROUND LINE

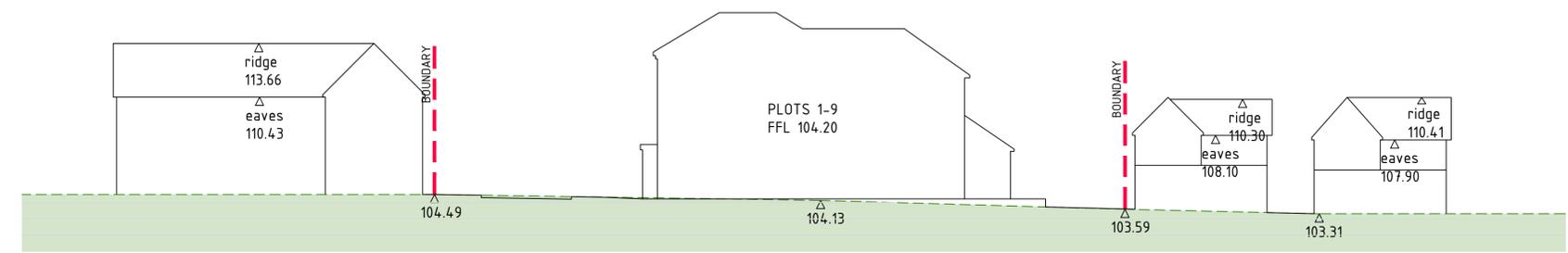


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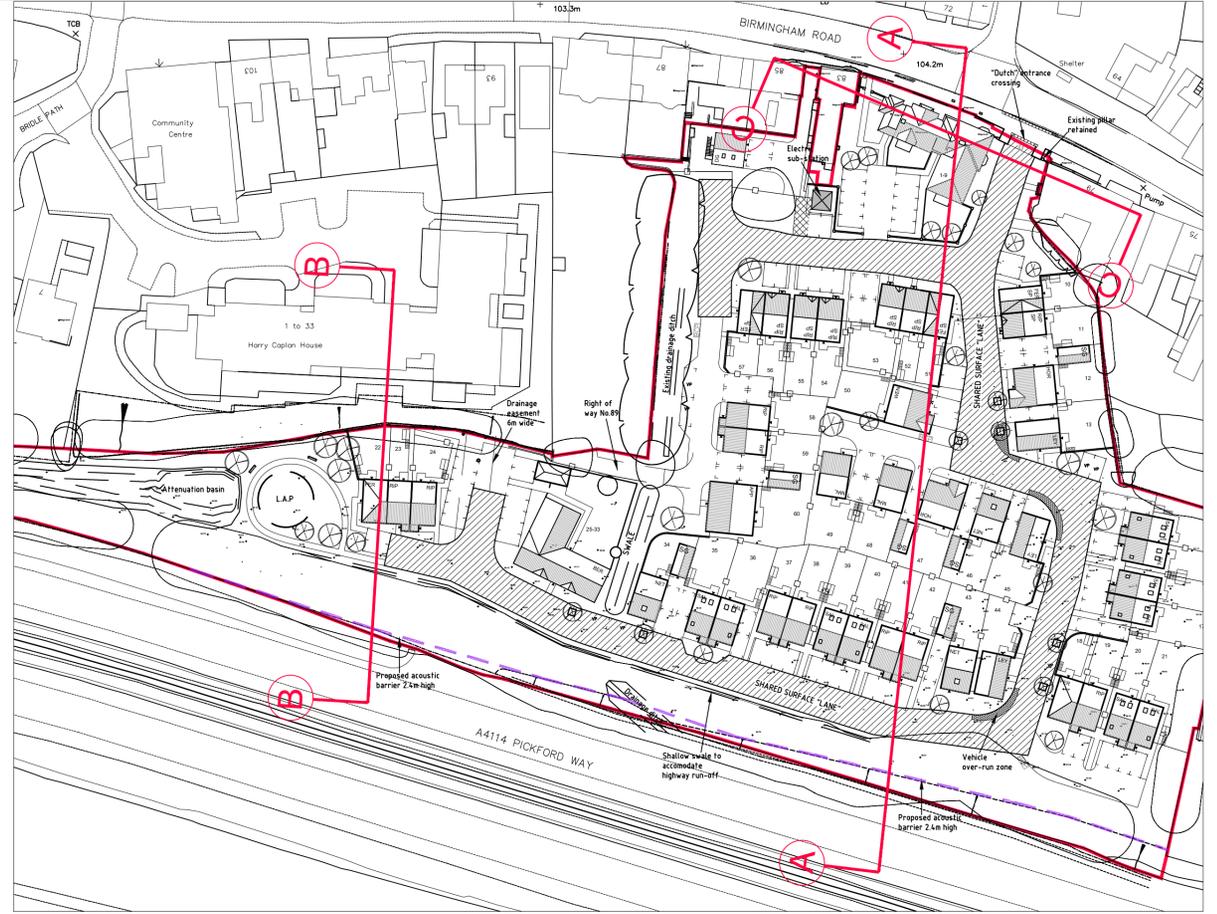
SECTION B-B

----- EXISTING GROUND LINE



SECTION C-C

----- EXISTING GROUND LINE



Notes

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C	09.01.25	Updated to latest site plan.	DS
B	02.05.25	Updated to latest site plan.	DS
A	29.11.24	Additional sections added.	DS
Revision	Date	Amendment	Initials

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Client

AVANT
homes

Project
FORMER ALLESLEY HOTEL
BIRMINGHAM ROAD,
COVENTRY

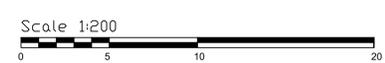
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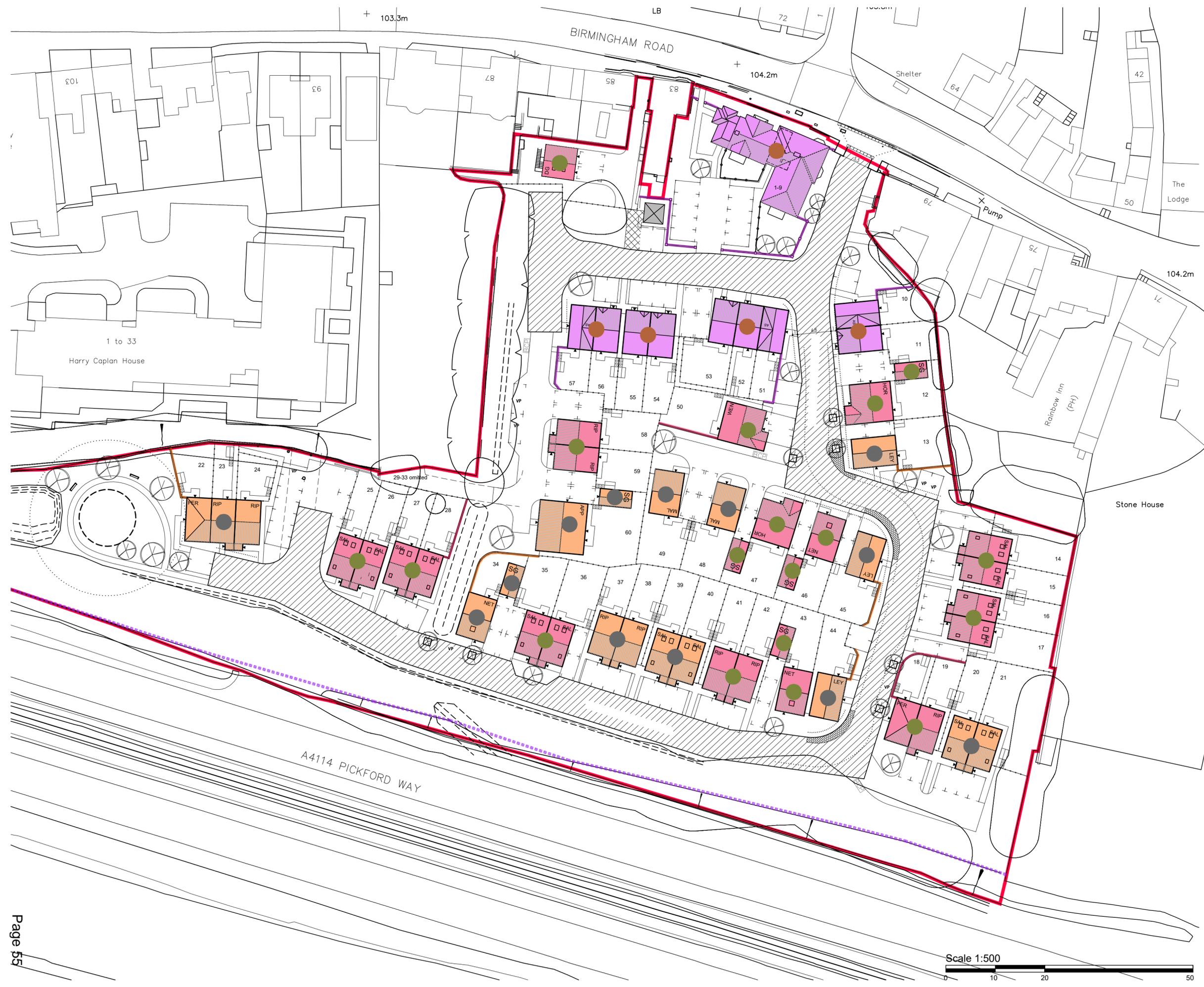
Dwg No.
1310-24-240

Revision

C	1:200
DS	OCT 2024

Scale @A1





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Bricks

- Marshalls Redbridge Stock with Red Feature Brick
- Marshalls Edmonton Stock with Blue Feature Brick
- Tobermore Landsdowne Moorland with Blue Feature Brick

Roof Tiles

- Russell Brown Roof and Ridge Tiles
- Russell Grey Roof and Ridge Tiles
- Itstock Gemini Mixed Russett

All front doors painted black
 All garage doors painted white

Revision	Date	Amendment	Initials
D	18.02.26	Southern apartments replaced.	DS
C	07.07.25	Updated to latest site plan.	DS
B	29.04.25	Updated to latest site plan.	DS
A	07.11.24	Wall railings added to front of plots 1-9.	DS

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Client
AVANT
 homes

Project
 FORMER ALLESLEY HOTEL
 BIRMINGHAM ROAD,
 COVENTRY

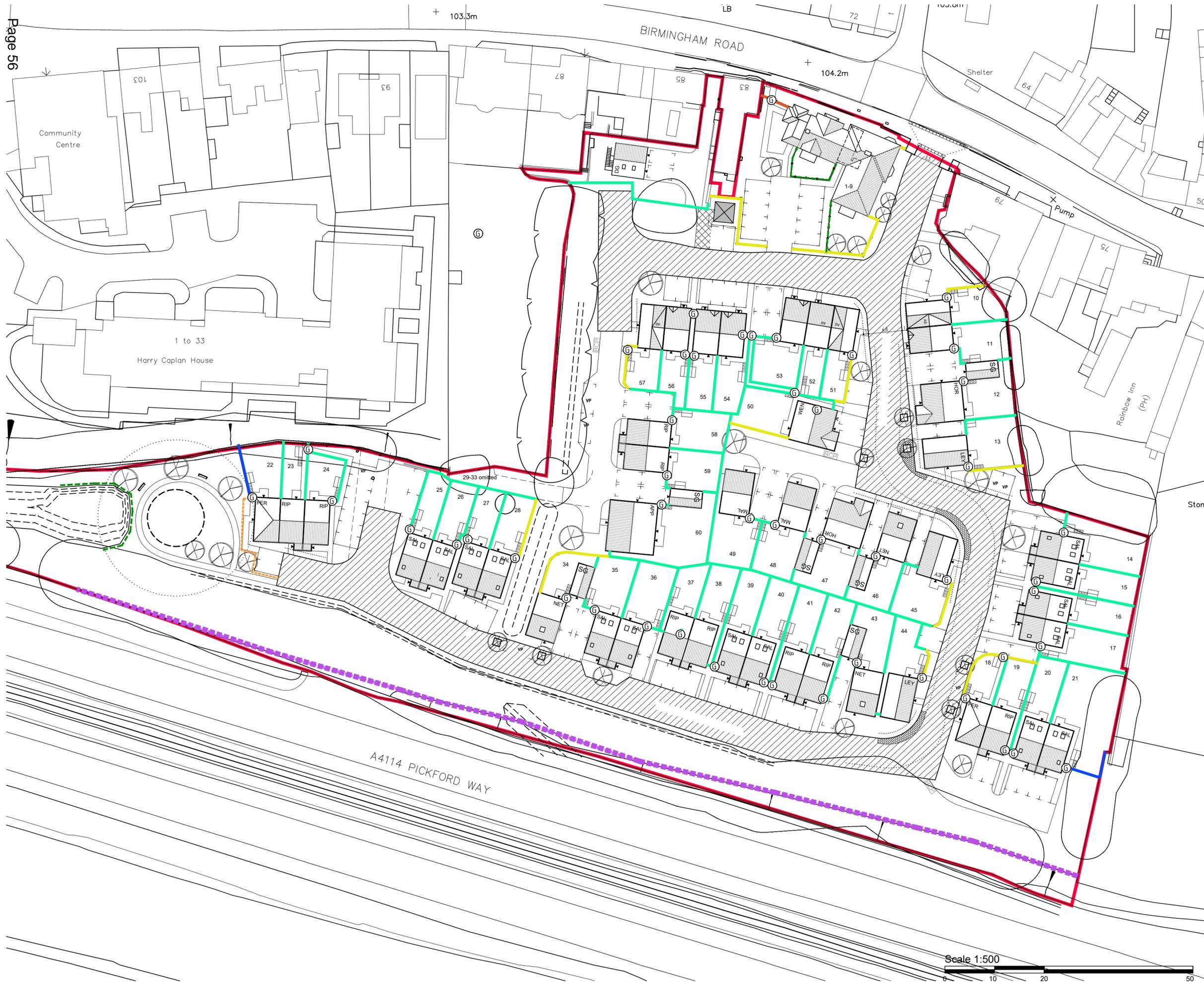
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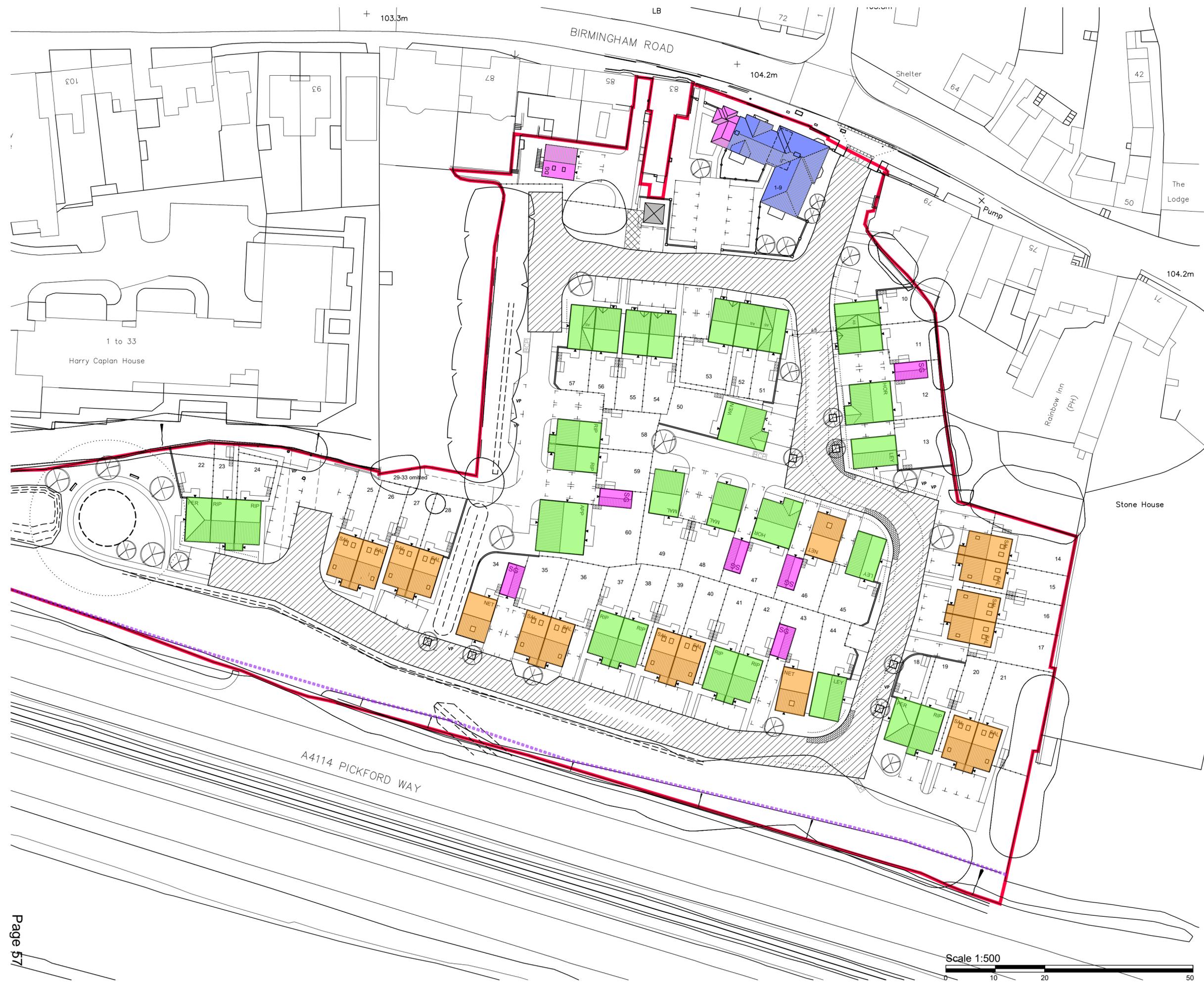
Dwg No.
 1310-24-250

Revision
 D
 Drawn
 DS

Scale @A2
 1:500

Date
 OCT 2024





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	3 STOREY
	2.5 STOREY
	2 STOREY
	1 STOREY

Revision	Date	Amendment	Initials
D	18.02.26	Southern apartments replaced.	DS
C	07.07.25	Latest site plan shown.	DS
B	29.04.25	Latest site plan shown.	DS
A	07.11.24	Latest site plan shown.	DS

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Client **AVANT** homes

Project **FORMER ALLESLEY HOTEL**
 BIRMINGHAM ROAD,
 COVENTRY

Title **STOREY HEIGHT PLAN**

Dwg No. **1310-24-270**

Revision	Scale @A2
D	1:500
Drawn	Date
DS	OCT 2024





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KEY

- BIN COLLECTION CREW PULL DISTANCE - MAX. 15m
- STEP FREE BIN PULL ROUTE TO COLLECTION POINT
- BCP BIN COLLECTION POINT
- BRS BIN/RECYCLING STORAGE

Revision	Date	Amendment	Initials
D	18.02.26	Latest site plan shown.	DS
C	07.07.25	Latest site plan shown.	DS
B	30.04.25	Latest site plan shown.	DS
A	06.11.24	Latest site plan shown.	DS

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Client: **AVANT** homes

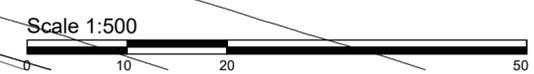
Project: **FORMER ALLESLEY HOTEL**
 BIRMINGHAM ROAD,
 COVENTRY

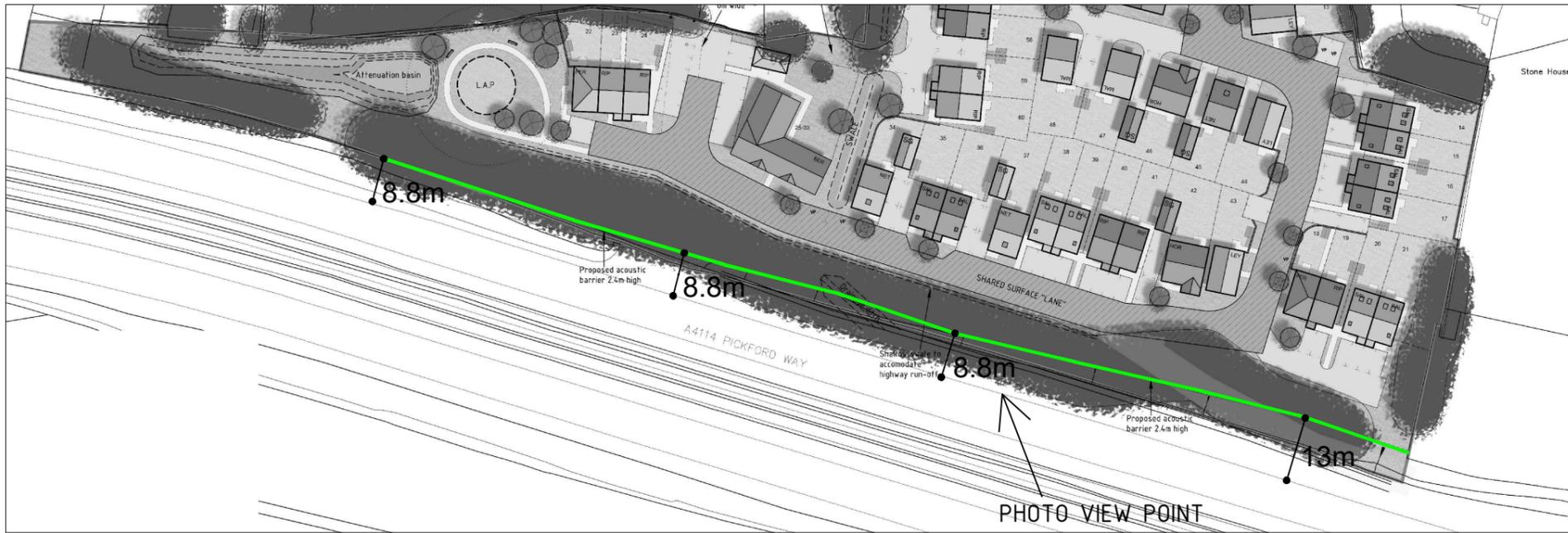
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Dwg No.: **1310-24-280**

Revision: **D** Scale @A2: **1:500**

Drawn: **DS** Date: **OCT 2024**



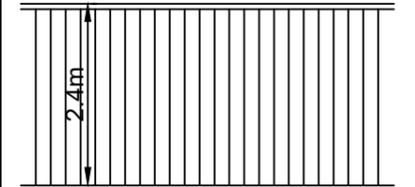


EXISTING VIEW



PROPOSED VIEW

Notes
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Acoustic barrier to be 2.4m high close board timber construction with a minimum density of 15 kg/m² and free of perforations.

If necessary due to gaps in hedgeline, it can be supplemented with native species: Yew, Holly and Hazel and/or clad in ivy and left to mature.

Fence line to generally follow the top of embankment before highway land as shown, but meander through tree line as best fits.

Revision	Date	Amendment	Initials

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Client	
AVANT homes	
Project	
BIRMINGHAM ROAD, COVENTRY	
Title	
ACOUSTIC BARRIER	
Dwg No.	
1310-24-290	
Revision	Scale @A3
.	NTS
Drawn	Date
DS	MAY 2025

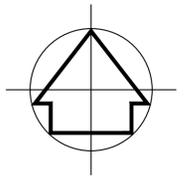
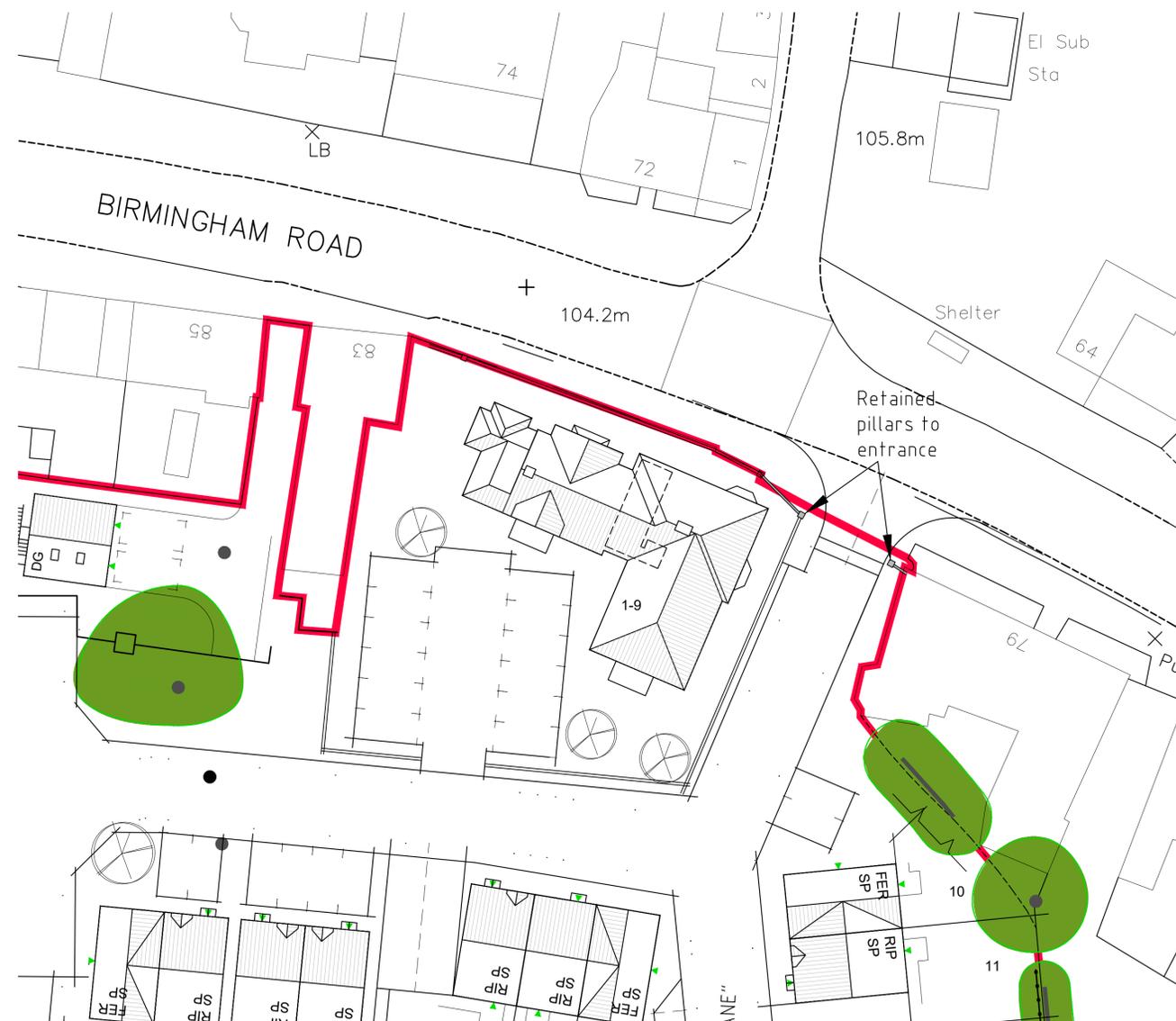


North Elevation

Plots 1-9 (slab level 103.275)

Datum Level = 102.00m

**ELEVATION POSITIONS
NOT TO SCALE**



B	Plots 1-9 elevations added to Street Scene	17.02.26	DW	KT
A	Additional Trees	02.10.24	LB	KT
Rev	Amendment	Date	Dm	Chk

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PROPOSED STREET SCENE

Scale:
1:100 @A1

Date:
SEPTEMBER 2024

Drawn:
1694-24

Rec:
B

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DRAWN: IG

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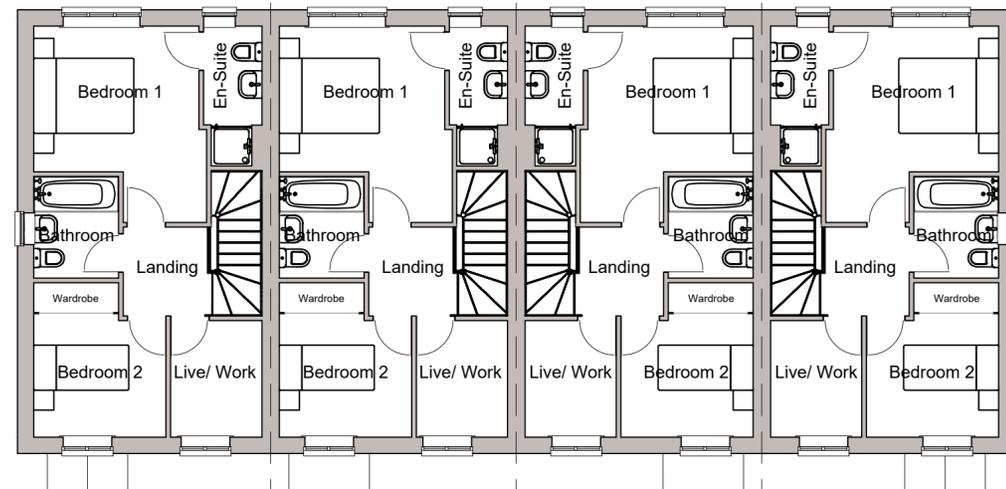




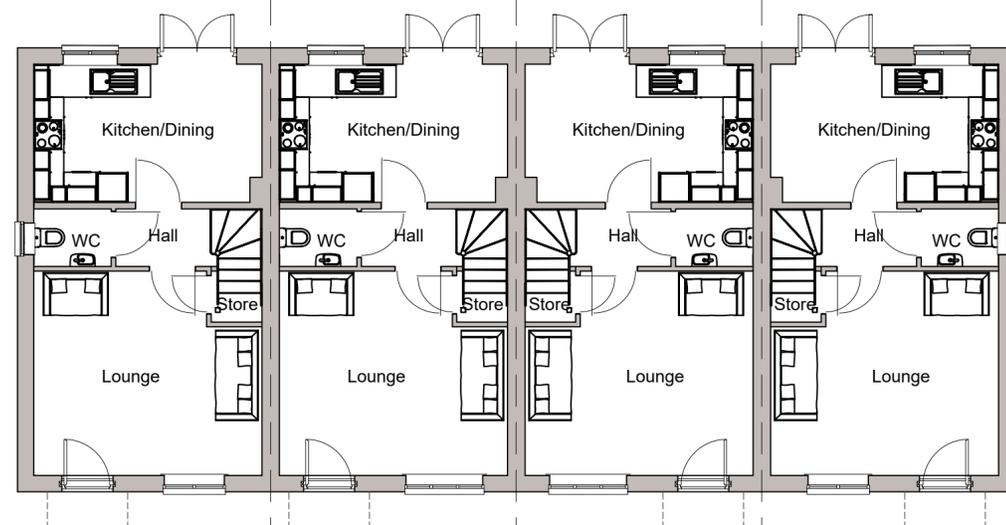
PLOT 57 PLOT 58 PLOT 59 PLOT 60
Front Elevation



Rear Elevation



PLOT 57 PLOT 58 PLOT 59 PLOT 60
First Floor Plan



PLOT 57 PLOT 58 PLOT 59 PLOT 60
Ground Floor Plan



Left-Side Elevation



Right-Side Elevation

Floor Area Schedule

Plot No.	Total sq.ft
Plot 57	808
Plot 58	808
Plot 59	808
Plot 60	808

Rev	Amendment	Date	Drn	Chk
A	Floor Area Schedule Added	07.11.24	BE	-

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PLOTS 57 - 60
FLOOR PLANS AND ELEVATIONS

Scale:
1:100 @ A2

Date:
OCTOBER 2024

Drp. No.:

Rev.:

1694-29

A

Dwg. File Ref: K:\Avant Homes\1694\Planning\Current\1694-29.dwg

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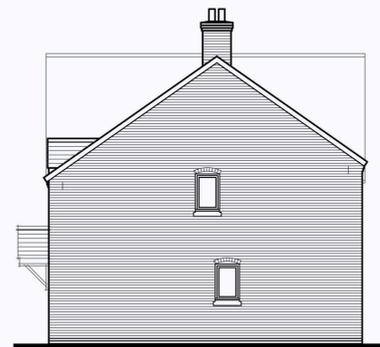
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PLOT 10
Front Elevation

PLOT 11



Left-Side Elevation



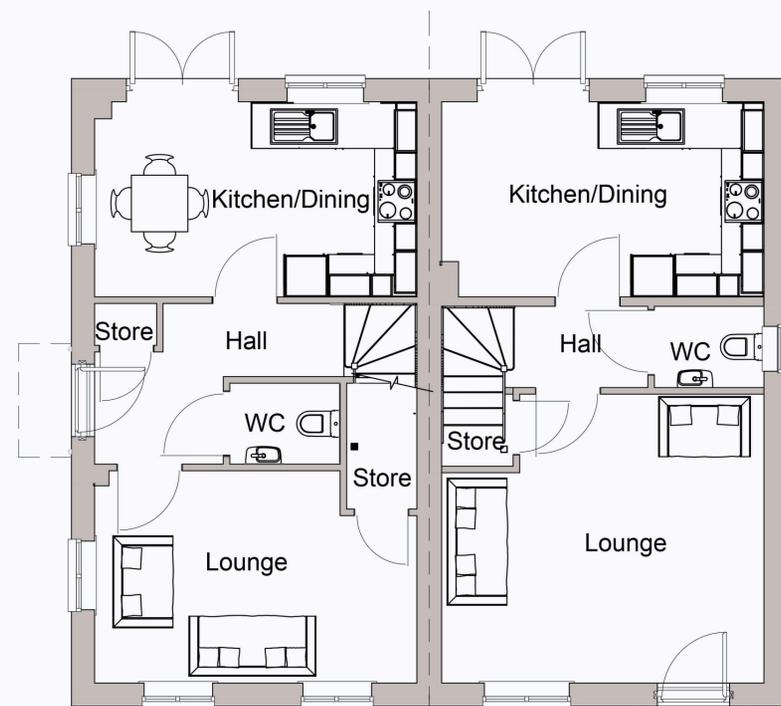
Rear Elevation



Right-Side Elevation

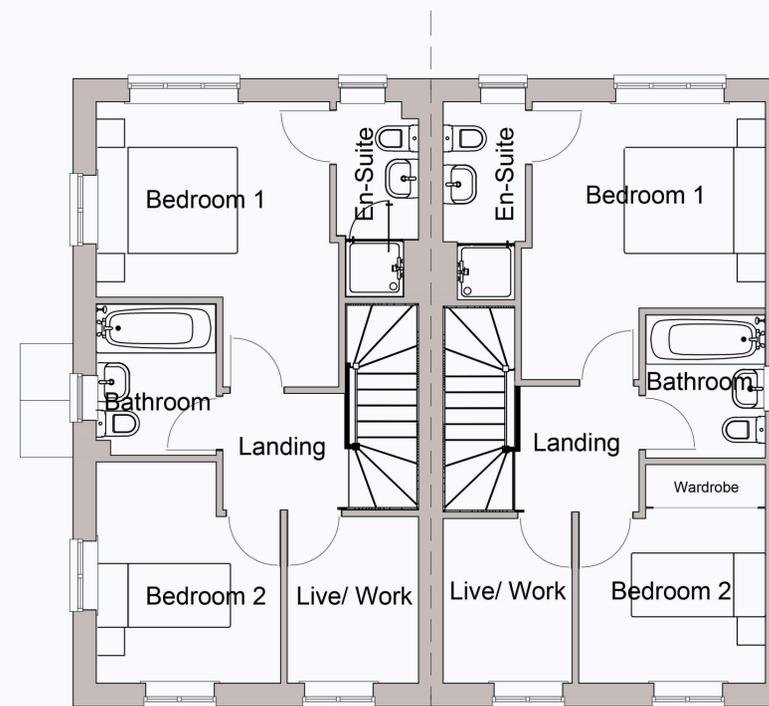
Floor Area Schedule

Plot No.	Total sq.ft
Plot 10	808
Plot 11	808



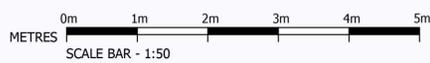
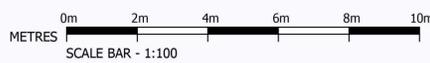
PLOT 10
Ground Floor Plan

PLOT 11



PLOT 10
First Floor Plan

PLOT 11



Rev	Amendment	Date	Drn	Chk
-	-	-	-	-

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PLOTS 10 - 11
FLOOR PLANS AND ELEVATIONS

Scale:
1:50 & 1:100 @ A1

Date:
NOVEMBER 2024

Drw No.:
1694-49

Rev:
-

DWG File Ref: K:\Avant Homes\1694\Planning\Current\1694-49-50-51-52.dwg
DRAWN: B. Evans

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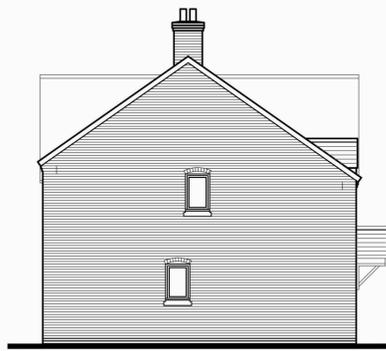
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PLOT 56 PLOT 57
Front Elevation



Left-Side Elevation



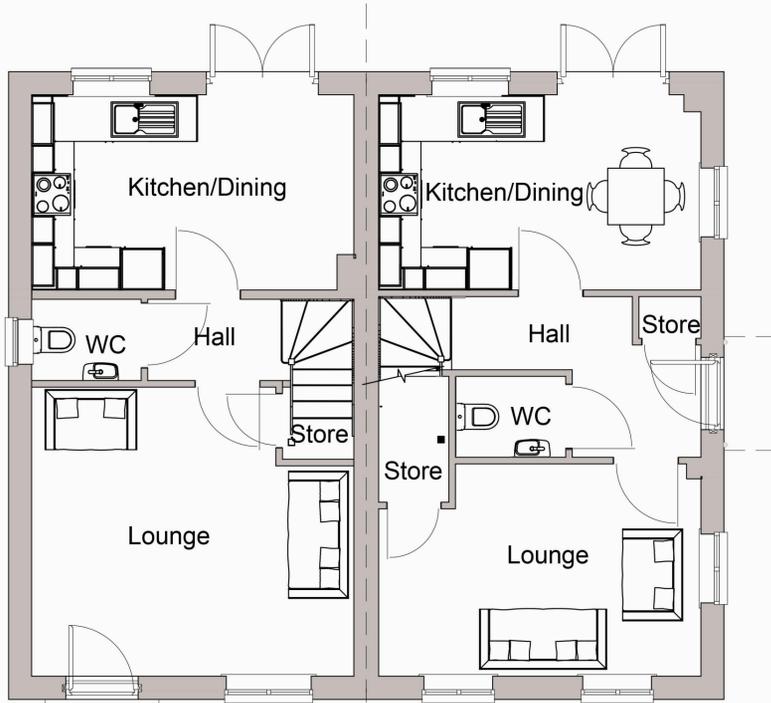
Rear Elevation



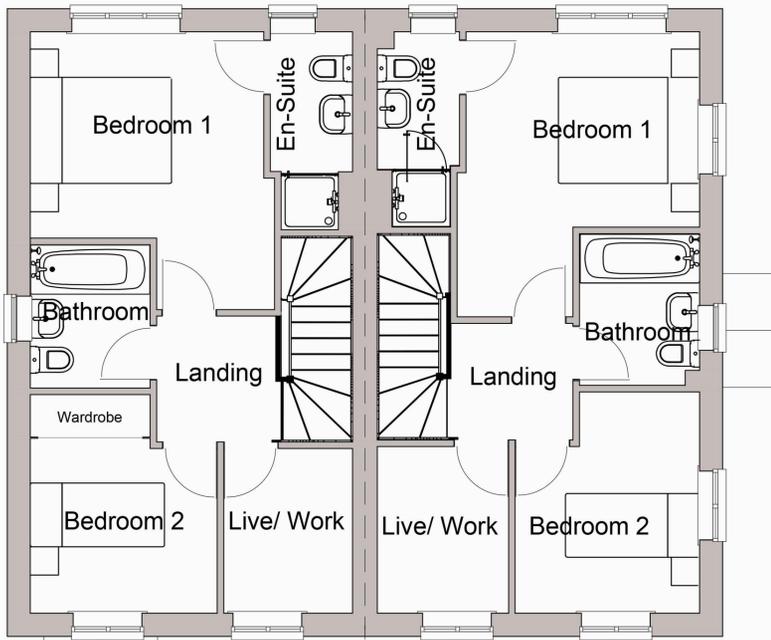
Right-Side Elevation

Floor Area Schedule

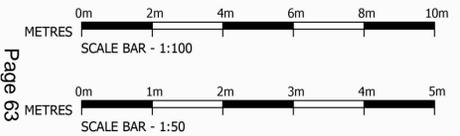
Plot No.	Total sq.ft
Plot 56	808
Plot 57	808



PLOT 56 PLOT 57
Ground Floor Plan



PLOT 56 PLOT 57
First Floor Plan



Rev	Amendment	Date	Drn	Chk
A	Plot numbers amended to latest layout	13.08.25	DW	KT

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PLOTS 56 - 57
FLOOR PLANS AND ELEVATIONS

Scale:
1:50 & 1:100 @ A1

Date:
NOVEMBER 2024

Rev:
1694-50

Drawn:
A

DWG File Ref: K:\Avant Homes\1694\Planning\Current\1694-49-50-51-52.dwg
DRAWN: B. Evans

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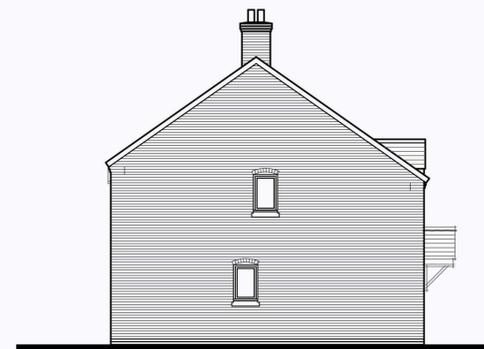
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PLOT 54

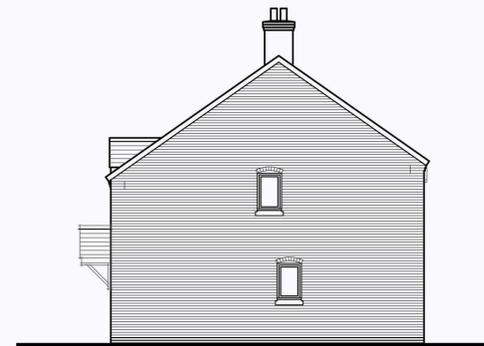
PLOT 55



Left-Side Elevation



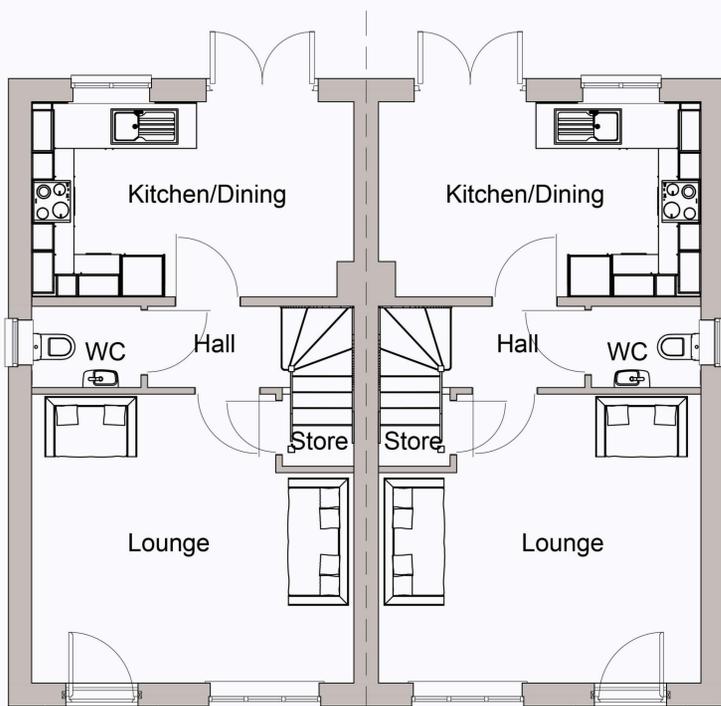
Rear Elevation



Left-Side Elevation

Floor Area Schedule

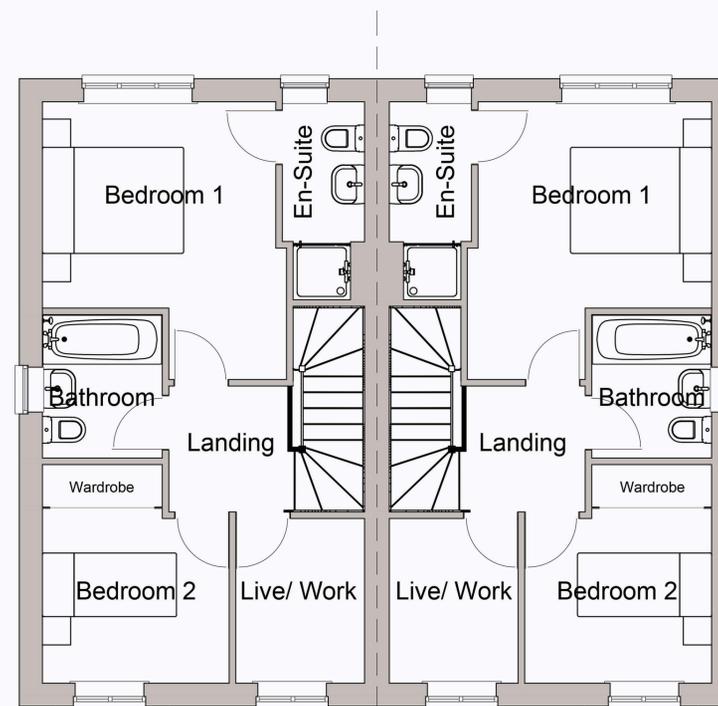
Plot No.	Total sq.ft
Plot 54	808
Plot 55	808



PLOT 54

PLOT 55

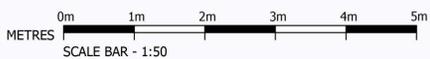
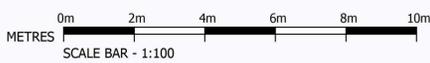
Ground Floor Plan



PLOT 54

PLOT 55

First Floor Plan



Rev	Amendment	Date	Drn	Chk
A	Plot numbers amended to latest layout	13.08.25	DW	KT

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PLOTS 54 - 55
FLOOR PLANS AND ELEVATIONS

Scale:
1:50 & 1:100 @ A1

Date:
NOVEMBER 2024

Rev:
A

Drw No.:
1694-51

DWG File Ref: K:\Avant Homes\1694\Planning\Current\1694-49-50-51-52.dwg

DRWNR: B. Evans

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PLOT 51

PLOT 52

PLOT 53

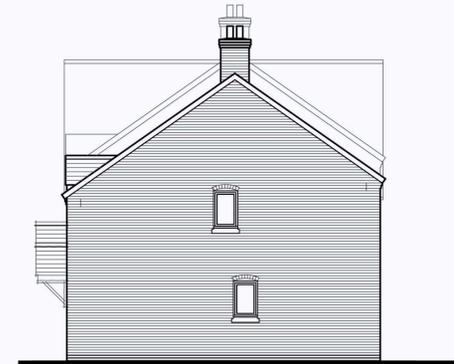
Front Elevation



Left-Side Elevation



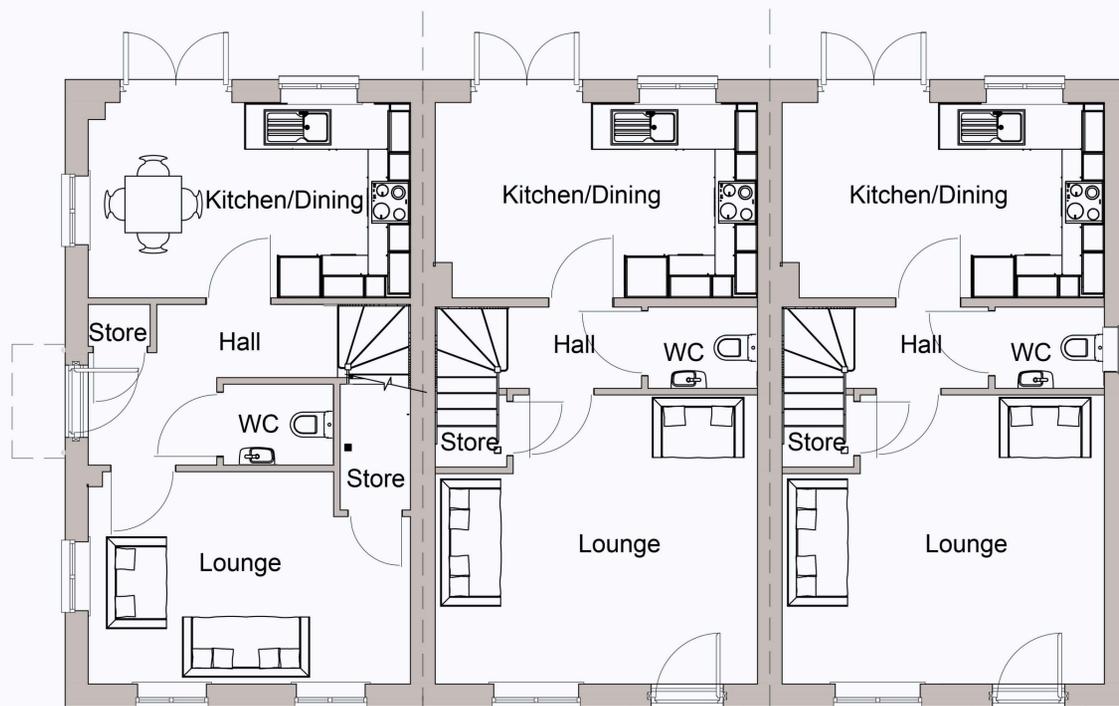
Rear Elevation



Right-Side Elevation

Floor Area Schedule

Plot No.	Total sq.ft
Plot 51	808
Plot 52	808
Plot 53	808

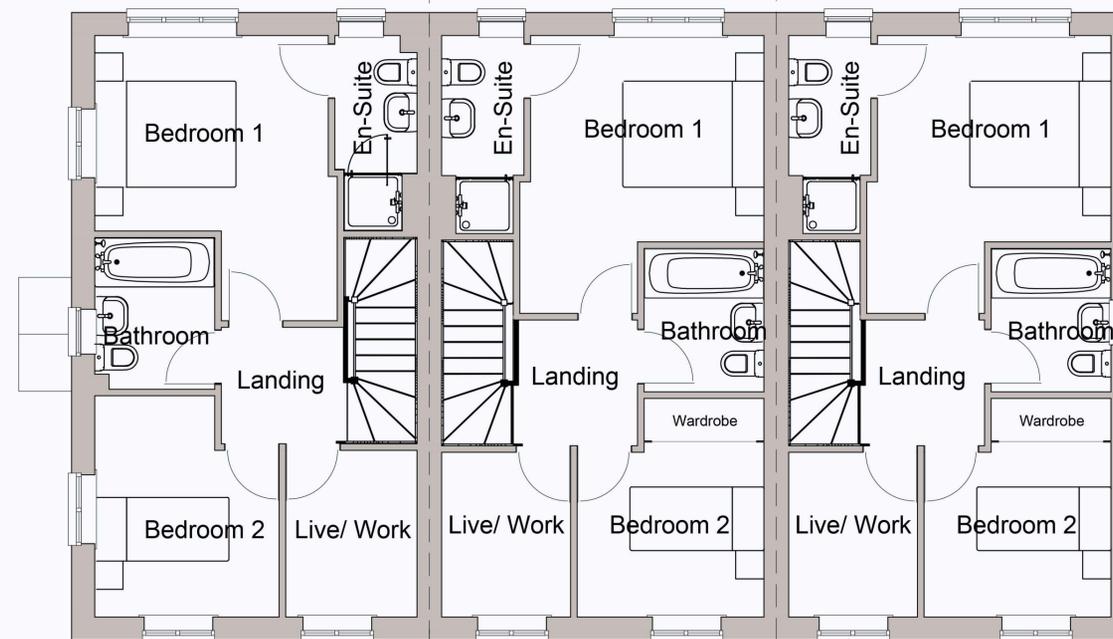


PLOT 51

PLOT 52

PLOT 53

Ground Floor Plan



PLOT 51

PLOT 52

PLOT 53

First Floor Plan



Rev	Amendment	Date	Drn	Chk
A	Plot numbers amended to latest layout	13.08.25	DW	KT

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
PLOTS 51 - 53
FLOOR PLANS AND ELEVATIONS

Scale:
1:50 & 1:100 @ A1

Date:
NOVEMBER 2024

Rev:
1694-52

Rev:
A

DWG File Ref: K:\Avant Homes\1694\Planning\Current\1694-49-50-51-52.dwg
DRAWN: B. Evans

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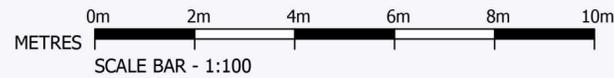
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PLOTS 51-53 FRONT ELEVATION

PLOTS 54-57 FRONT ELEVATION



Rev	Amendment	Date	Drn	Chk
A	Plot numbers amended to latest layout	13.08.25	DW	KT

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD,
ALLESLEY, COVENTRY

Title:
STREET SCENE PLOTS 51 - 57

Scale:
1: 100@A2
Draw No.:
1694-53

Date:
APRIL 2025
Rev:
A

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DRAWN: DW

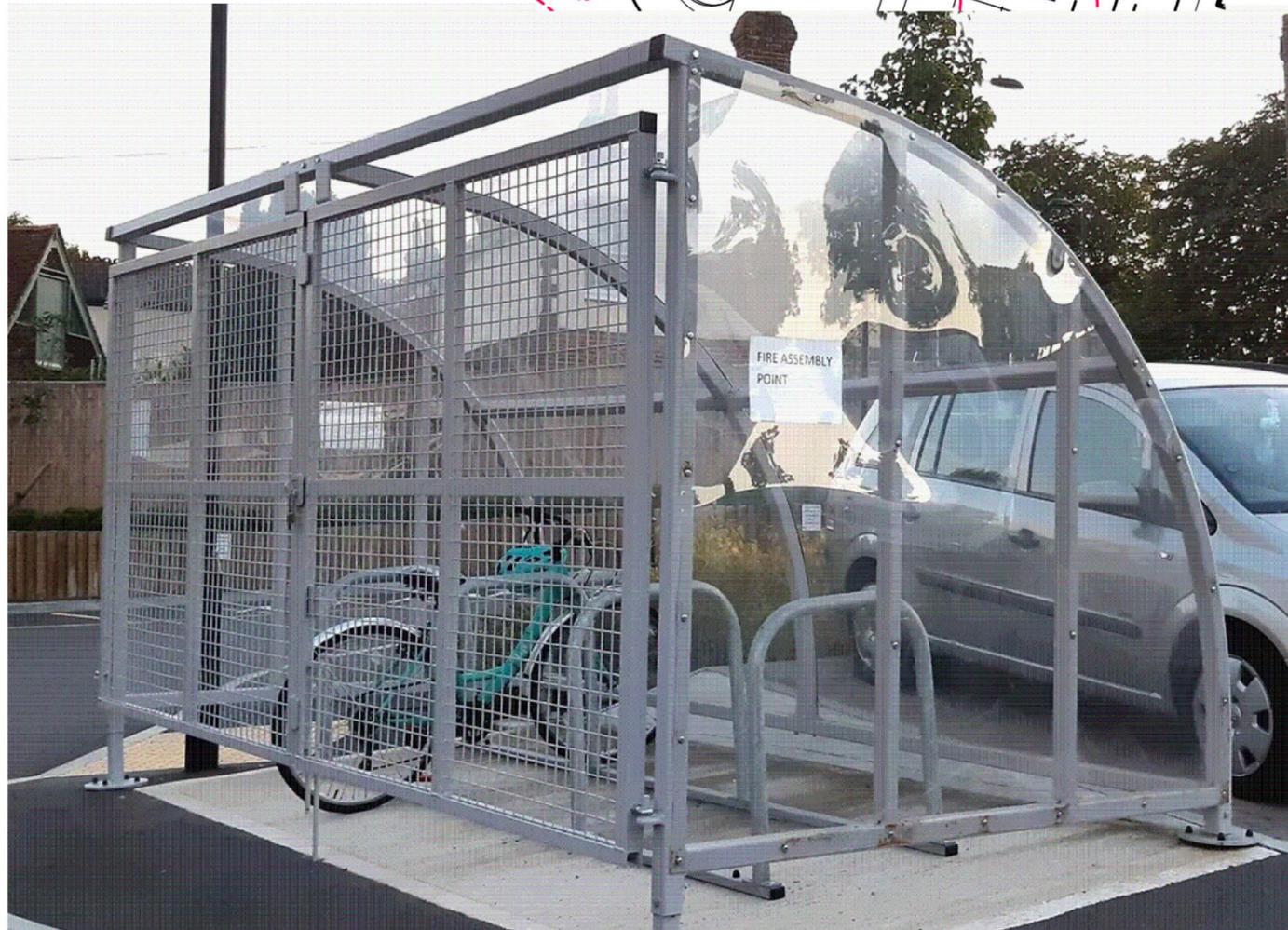
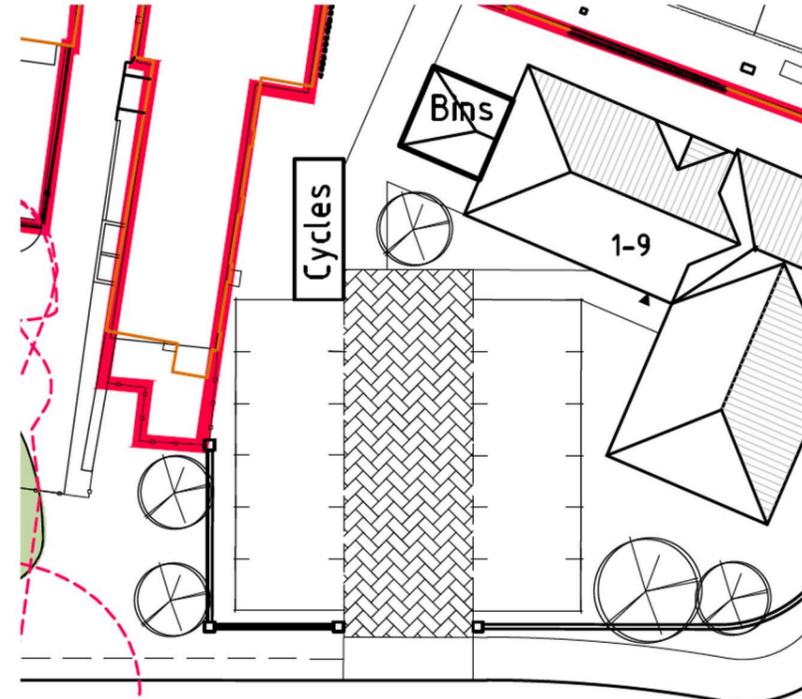
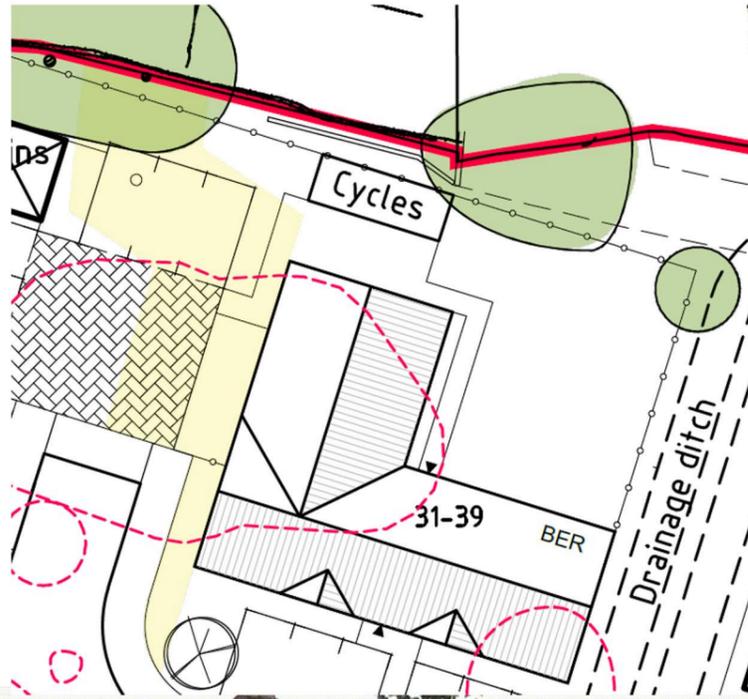
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A	Cycle Store image and details updated	08.05.2024
Rev	Description	Date

Title Cycle Storage

Project
Birmingham Road,
Coventry

Drawn	Checked	Date
BA	-	NOV 23

Drg No. 3503-465

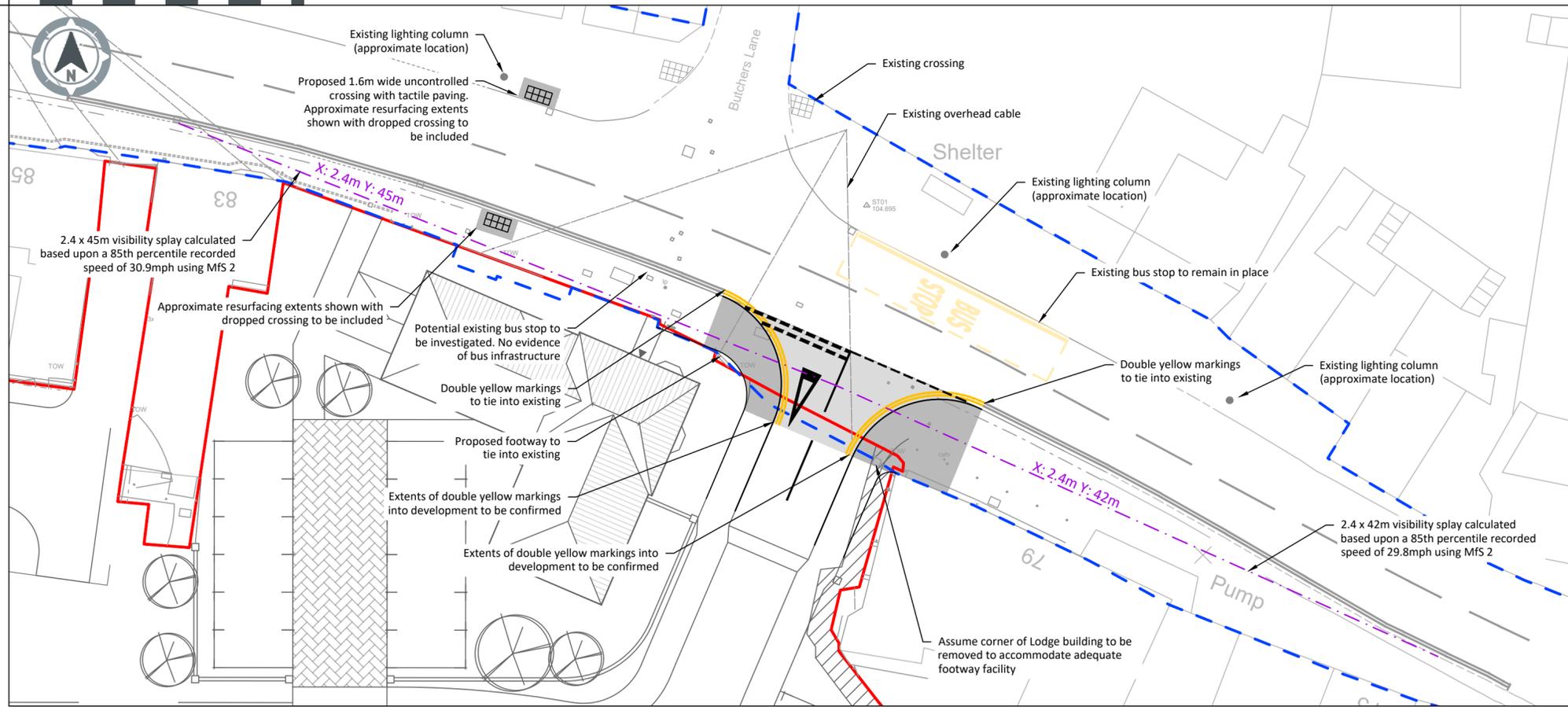
Scale	Rev
NA @ A3	A



Avant Homes (West Midlands)
Wingfield Court
18 Coventry Road
Coleshill
B46 3BE

CYCLE STORE TO ACCOMODATE 12 CYCLES APPROX 6.2m W x 2.1m D x 2.1M H
*FINISH SUBJECT TO CHANGE; SOLAR POWERED MOVEMENT SENSOR LIGHT TO BE ADDED

A2 General Arrangement



CDM Note

These drawings have been produced with reference to the CDM Regulations 2015. Please note that these are pre-construction phase drawings and should be subject to further design risk management as required in accordance with Regulation 9.

The residual risks identified on the DRA / drawings are based on the information available at the time of design. Any services information indicated on PJA drawings is obtained from third parties, and is given for guidance purposes only. The exact location of any services will need to be verified by the client / contractor before commencing works on site.

Until Technical Approval has been obtained from the relevant Local Authorities or Statutory Bodies, it should be understood that all drawings are issued as preliminary and NOT for Construction. Should the Contractor and / or Employer commence work prior to approval being given, it is entirely at their own Risk

PRELIMINARY DESIGN
For comment and review only. Design is based upon information available at the time. Design is subject to full review as additional information becomes available. Design is subject to full review upon receipt of comments from;

- Development Control
- LA Planning Authority
- Environment Agency
- LA Highways Department
- Sewerage Undertaker



Location Plan



Notes

1. Do not scale from this drawing.
2. All dimensions in metres unless stated otherwise.
3. This drawing is based on topographical survey (10.01.21 Subject: 0247 unknown company) and OS mapping (OS license number 100022432) information.
OS background is shown indicatively to cover un-surveyed areas in the topographical survey provided.
4. This drawing is not to be reproduced in any part or form without consent of PJA Civil Engineering Ltd. All copyright reserved.
5. The design details presented must be reviewed in conjunction with the wider site information and site constraints.
6. No liability will be accepted by PJA for negligence or otherwise in relation to the accuracy of the topographical survey / OS mapping which have been received by Third parties and it's contents.
7. Reproduction from the Ordnance Survey map with permission of the controller of His Majesty's Stationary Office.
8. The purpose of this drawing is to show the location of the proposed access junction design providing access to the proposed residential development on the site of the Allesley Hotel.

The drawing has been produced to support outline planning application.

From a planning perspective, the purpose is to show where access is to be formed and indicate an engineering solution for the road and pedestrian link arrangements. The alignment and technical details of those arrangements are not fixed at this stage and will be resolved via condition.
9. The design is Preliminary and subject to discussions with the local planning and highway authorities (Coventry City Council). The drawing should not be used for tendering or construction purposes and requires further development as part of the detailed design and understanding of highway authority preferences, which vary between authority.
10. All works are proposed to be within the highway boundary or Developer owned land. It is assumed that the highway and site boundary abut each other.
11. Site specific detailed surveys need to be carried out to confirm design information, which may impact the outline design proposals. These include, but are not limited to, ground conditions, groundwater levels, utilities, ecology, tree protection etc. Impacts related to other civils features have not been detailed and are subject to detailed design.
12. Any existing details which are shown on this drawing are for guidance only and are to be checked on site.

13. The existing road widths are based upon topographical survey data.
14. Stopping Sight Distances (SSDs) have been calculated using 85th percentile speeds recorded by an ATC survey on Birmingham Road between 3rd - 9th February 2022:
Eastbound - 30.9mph
Westbound - 29.8mph

Based upon the parameters in Manual for Streets 2, with no adjustment for weather or gradient, the following Stopping Sight Distances have been calculated:

To the West from site access - 45m
To the East from site access - 42m
15. The Stopping Sight Distance (SSD) for the proposed junction has been calculated based on the recommendations of Coventry City Council Highways Design Guide for Local Residential Road.
16. The proposals outlined are subject to Road Safety Audits.
17. The junction has been designed in accordance with Coventry City Council Design Guide - Highway Design and Manual for Streets 2.
18. The geometry layout is presented on the supporting plan with reference 07905-CI-A-0002.
19. The vehicle turning manoeuvres are presented on the supporting vehicle swept paths plan with reference 07905-CI-A-0003.
20. Reference of source data:
 - Topographical survey (Dated: Jan 2022, Drawing reference: U0244, provided by Safe Dig Surveys and File Name:U0244 - Sheet 1)
 - OS mapping (OS license number 100022432)
 - Masterplan (Dated: 20.09.24, Drawing reference: 1310-24-200-C, provided by Avant Homes and file name: 1310-24-200rev.C - Planning Layout)
 - Highway boundary - produced from pdf plans dated 07.03.24 from Coventry Highways Adoptions. The boundary produced follows features lines on the topographical survey and OS mapping where the survey is limited.
22. Design approach/summary/assumptions;
 - The location of the junction is formed on the existing access point to Allesley Hotel.
 - The location of the existing bus stop opposite the access junction has been assessed and proposed to stay in its existing location. To the east, the highway is fronted directly with overlooking properties, until such a point where the footway narrows. To the west, Butchers Lane junction is positioned with fronted houses for a further 50m.
 - Following a desktop study, there is evidence of a bus stop directly west of the access junction, however, there is no physical infrastructure identified. Further investigation is required to determine any impact to the bus stop / access junction.
23. The design criteria and philosophy is subject to local authority agreement.

P02	17.10.24	Updated Masterplan	FA	RH	AS
P01	22.04.24	FIRST ISSUE	AS	AN	JW
Rev	Date	Revision Note	Drw	Chk	App

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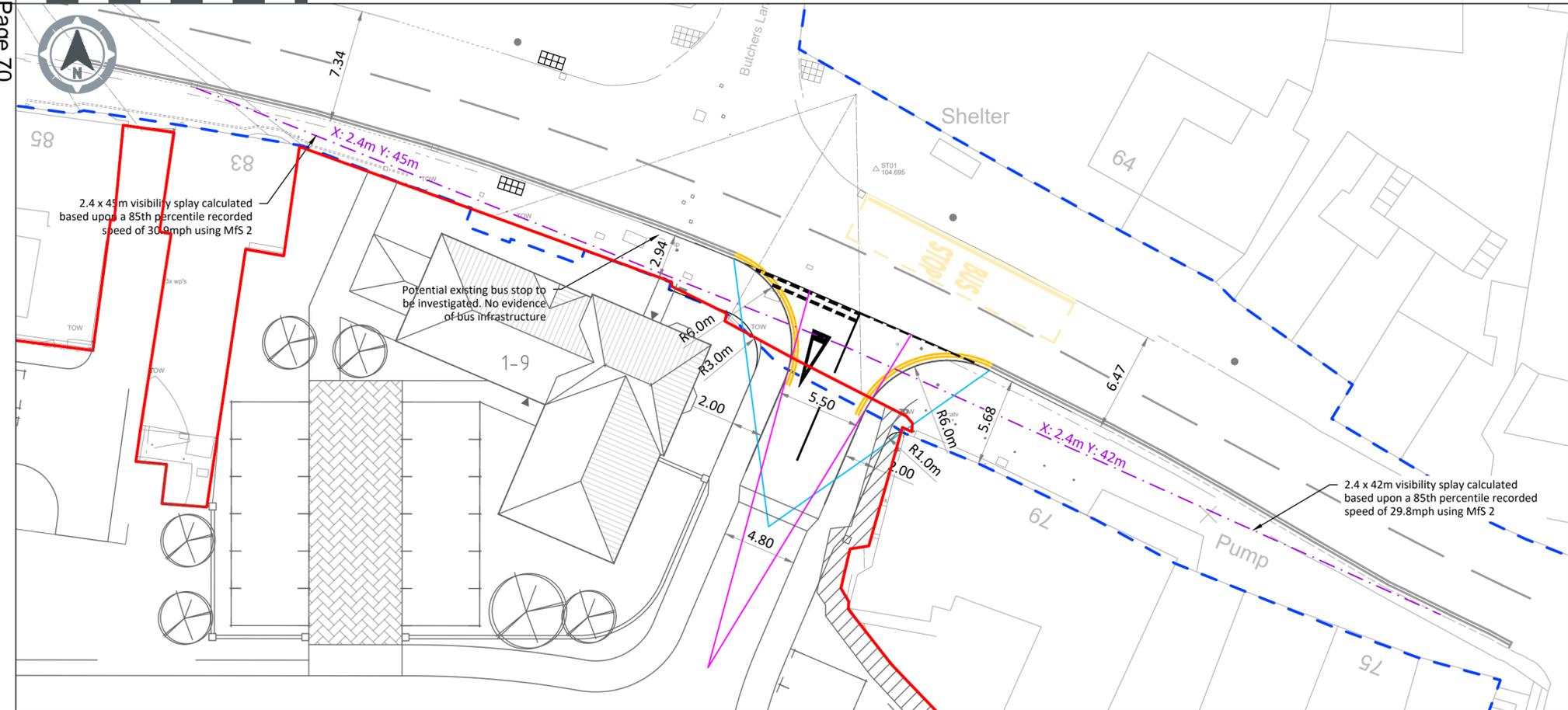
Client
Avant Homes

Project
Allesley, Coventry

Title
Site Access Junction
General Arrangement

Drawing Issue Status
For Planning

PJA Ref	Scale @ A2	Date
07905/A	As Shown	April 2024
Drawing No.		Revision
07905-CI-A-0001		P02
Primary Contact		
Andrew.Nixon@pja.co.uk		



Location Plan



Notes

- Do not scale from this drawing.
- All dimensions in metres unless stated otherwise.
- The layout for the junction and associated notes are presented on the supporting general arrangement plan with drawing reference 07905-CI-A-0001.
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- Reproduction from the Ordnance Survey map with permission of the controller of His Majesty's Stationary Office.
- The purpose of this drawing is to show the location of the proposed access junction design providing access to the proposed residential development on the site of the Allesley Hotel.
- The vertical alignment have not been considered and will be assessed at future stages of design when further information is available.
- The design criteria and philosophy is subject to local authority agreement.

Design Parameters

- Minor Road - Site Access
- Design standard applied - Coventry City Council Design Guide - Highway Design, Manual for Streets
 - Road classification - Local Residential Road
 - Speed limit of road - 20 mph
 - Design speed - 32 kph (table 7.1 MfS)
 - Visibility - 25m SSD (table 7.1 MfS)
 - Visibility setback - 2.4m
 - Horizontal alignment at junction - 4.5m desirable minimum (CCC Design Criteria for LRR serving up to 150 dwellings).
 - Vertical alignment - to be assessed at future stages of design
 - Carriageway width - 5.5m (may be reduced to 4.8m where serves up to 50 dwellings) (CCC Design Criteria for LRR)
 - Lane widths - not considered
 - Footway - 2m (CCC Design Criteria for LRR)
 - Verge - 1m (CCC Design Criteria for LRR)

Major Road - Birmingham Road

- Speed limit of road - 30 mph
 - Visibility - westbound 42m, eastbound 45m
- Calculation based on 85th percentile speeds (with no adjustment for weather or gradient)
- Eastbound - 30.9mph
Westbound - 29.8mph

CDM Note
These drawings have been produced with reference to the CDM Regulations 2015. Please note that these are pre-construction phase drawings and should be subject to further design risk management as required in accordance with Regulation 9.

The residual risks identified on the DRA / drawings are based on the information available at the time of design. Any services information indicated on PJA drawings is obtained from third parties, and is given for guidance purposes only. The exact location of any services will need to be verified by the client / contractor before commencing works on site.

Until Technical Approval has been obtained from the relevant Local Authorities or Statutory Bodies, it should be understood that all drawings are issued as preliminary and NOT for Construction. Should the Contractor and / or Employer commence work prior to approval being given, it is entirely at their own Risk

PRELIMINARY DESIGN
For comment and review only.
Design is based upon information available at the time. Design is subject to full review as additional information becomes available.
Design is subject to full review upon receipt of comments from:
• Development Control
• LA Planning Authority
• Environment Agency
• LA Highways Department
• Sewerage Undertaker

Key

- Highway Boundary
- Site Boundary
- Junction Visibility
- Approach Visibility (15m offset, DMRB CD 123)
- Approach SSD Visibility (25m)

P02	17.10.24	Updated Masterplan	FA	RH	AS
P01	22.04.24	FIRST ISSUE	AS	AN	JW
Rev	Date	Revision Note	Drw	Chk	App

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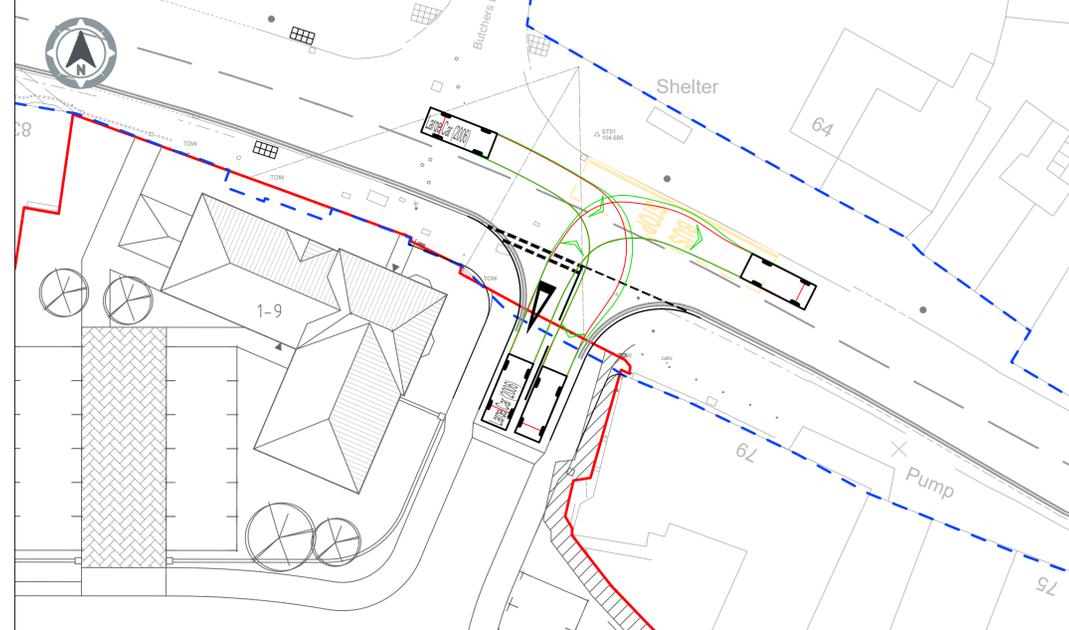
Client
Avant Homes

Project
Allesley, Coventry

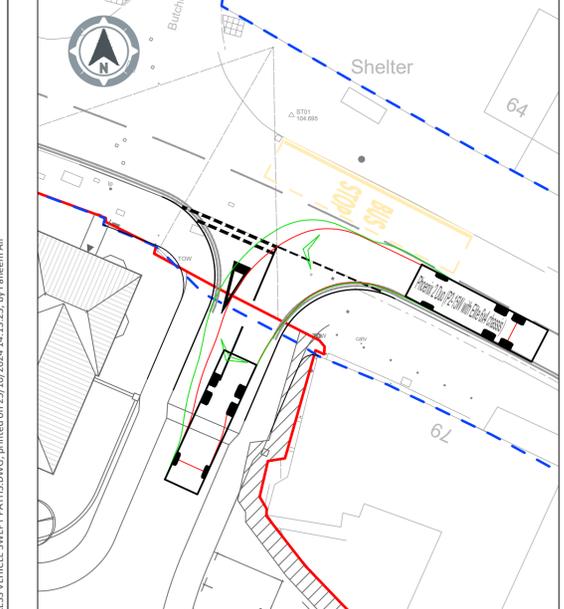
Title
Site Access Junction Geometry Plan

Drawing Issue Status
For Planning

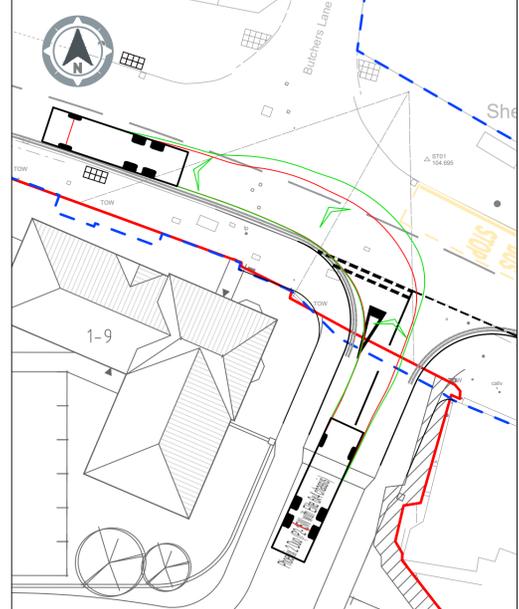
PJA Ref 07905/A	Scale @ A2 As Shown	Date April 2024
Drawing No. 07905-CI-A-0002		Revision P02
Primary Contact Andrew.Nixon@pja.co.uk		



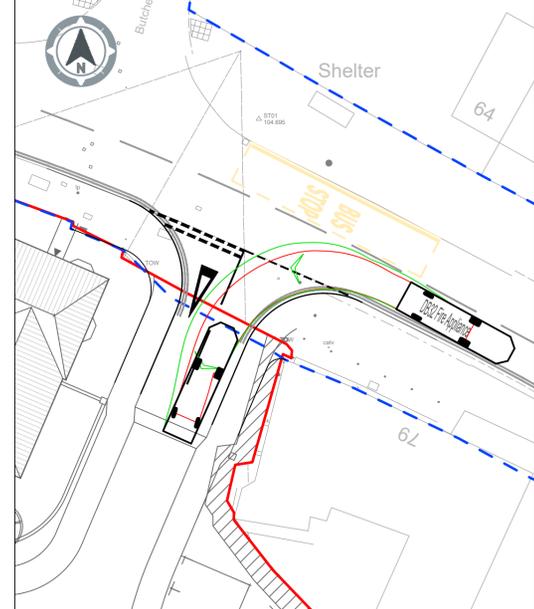
Swept Paths - Refuse Vehicle - Left In



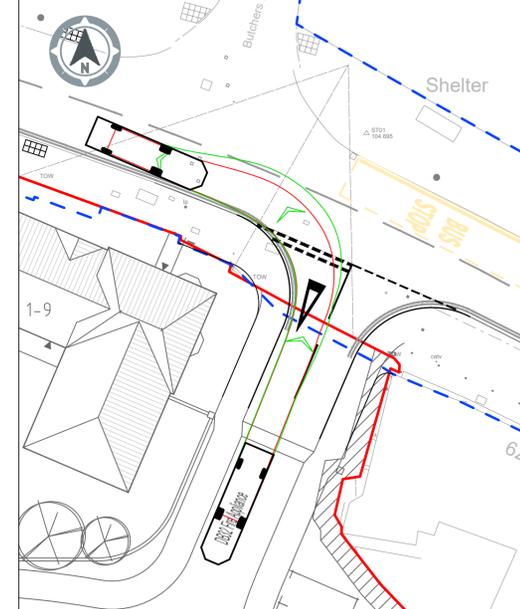
Swept Paths - Refuse Vehicle - Left Out



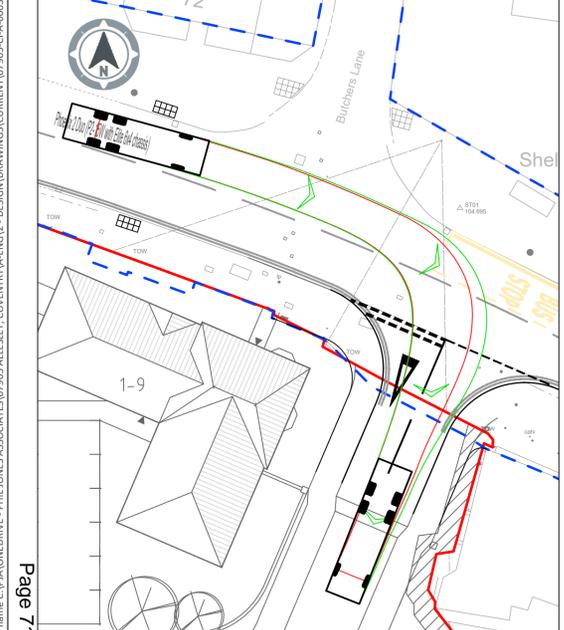
Swept Paths - Fire Tender - Left In



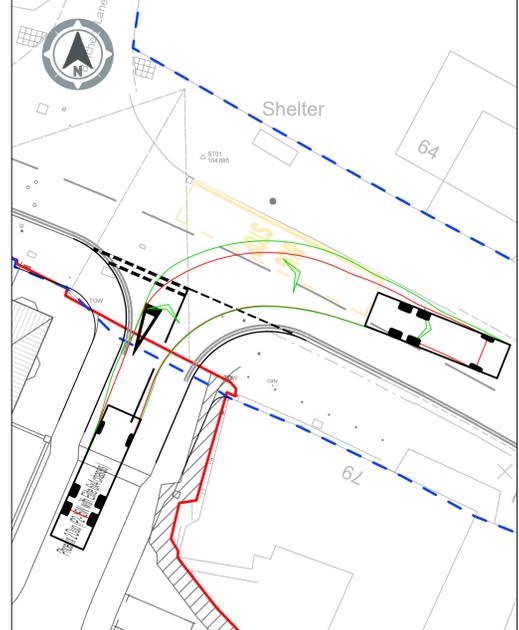
Swept Paths - Fire Tender - Left Out



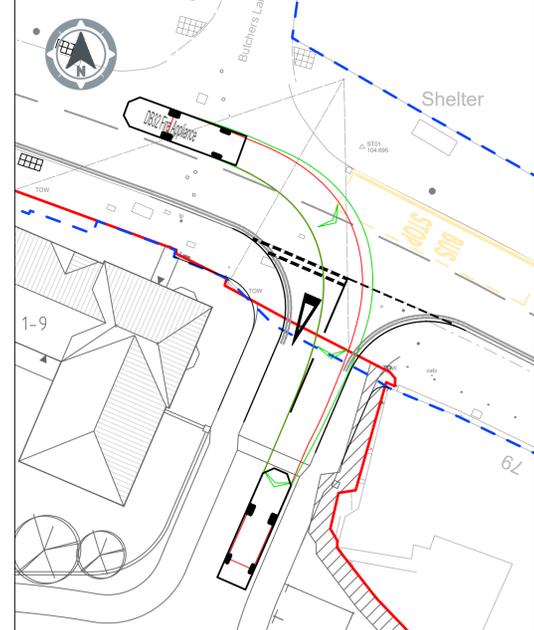
Swept Paths - Refuse Vehicle - Right In



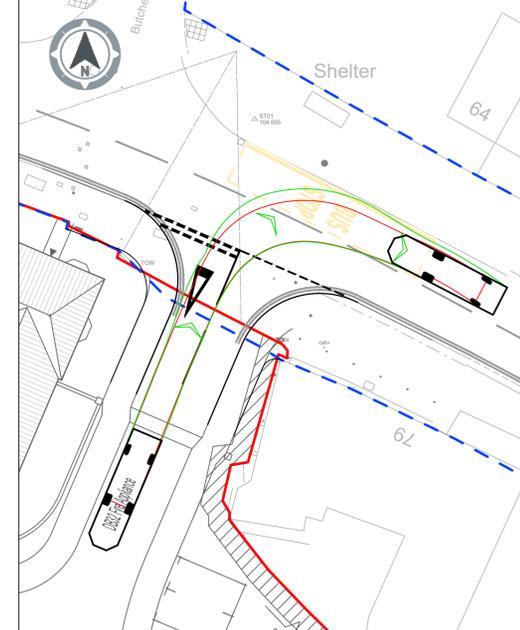
Swept Paths - Refuse Vehicle - Right Out



Swept Paths - Fire Tender - Right In



Swept Path - Fire Tender - Right Out



Notes

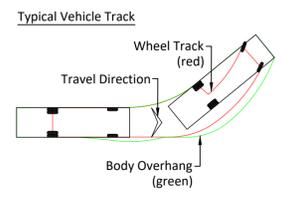
- Do not scale from this drawing.
- All dimensions in metres unless stated otherwise.
- This drawing is based on topographical survey (10.01.21 Subject: 0247 unknown company) and OS mapping (OS license number 100022432) information.
OS background is shown inductively to cover un-surveyed areas in the topographical survey provided.
- The layout for the junction and associated notes are presented on the supporting general arrangement plan with drawing reference 07905-CI-A-0001.
- This drawing is not to be reproduced in any part or form without consent of PJA Civil Engineering Ltd. All copyright reserved.
The drawing has been produced to support outline planning application.
- Reproduction from the Ordnance Survey map with permission of the controller of His Majesty's Stationary Office.
- The purpose of this drawing is to display the various design vehicle swept paths manoeuvring through the proposed junction.
The drawing has been produced to support outline planning application.
- The vehicle swept paths presented have informed/validated the proposed geometry of the junction.
- The design vehicles that have been considered in the swept path analysis have been listed below (based on Vehicle Tracking software) and the relevant vehicle profiles are included to highlight the vehicle dimensions. The vehicle profiles selected are considered to have the most onerous swept path criteria for both British and European standards. Therefore, the swept paths presented are robust and provide comfort that the junction manoeuvres for the typical vehicles below can be satisfied.
European Design Vehicles
Small Sized Vehicles
• Large Car (2006)
Large Size Vehicles
• Refuse vehicle - Phoenix Duo 2 Recycler (P2-15W with Elite 6x4 chassis) *
British Design Vehicles
Medium Sized Vehicles
• Emergency vehicle - DB32 Fire Appliance *
* design vehicles to be confirmed with the client, local authority, emergency services etc and alternative vehicles may need to be used.
- Vehicles have been assessed at 5mph for turning movements through the junction. The assessment aims to achieve a minimum of 0.25m from kerb / channel lines and 0.25m either side of centre or lane line markings for car manoeuvring.
- Design approach/summary/assumptions:
• The access strategy is based on cars and refuse vehicle assumed as most onerous simultaneous movement required
• Vehicles to wait to give way off major road before intruding on opposing lane on entry and committing to turns
• 100mm offset from channel has been achieved for the refuse vehicle, whereby the large car is able to manoeuvre through the junction with the desired 250mm clearance.
• It is acknowledged that due to the infrequent nature of the refuse vehicle manoeuvring the junction, overhang onto the opposing carriageway is acceptable.
• It is assumed that a combination of most onerous vehicles and likely worst case combination of vehicles requiring access simultaneously is limited.
• Due to the presence of the bus stop directly opposite the junction, it is assumed that reasonable care will be taken by drivers exiting onto Birmingham Road when a bus is stationary at the stop to wait as necessary to undertake the turn.
• The highway authority has not confirmed vehicle profiles to be used.
• vehicular flows anticipated to be relatively modest due to the quantum of development
- The design criteria and philosophy is subject to highway authority agreement.

CDM Note

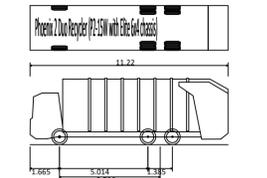
These drawings have been produced with reference to the CDM Regulations 2015. Please note that these are pre-construction phase drawings and should be subject to further design risk management as required in accordance with Regulation 9.

Key

- Highway Boundary
- Site Boundary



Vehicle Profile



Refuse Vehicle (Phoenix 2 Duo Recycler) (P2-15W with Elite 6x4 chassis)	
Overall Length	11.220m
Overall Width	2.530m
Overall Body Height	3.750m
Min Body Ground Clearance	0.309m
Track Width	2.530m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	11.550m



DB32 Fire Appliance	
Overall Length	8.680m
Overall Width	2.180m
Overall Body Height	3.420m
Min Body Ground Clearance	0.337m
Max Track Width	2.121m
Lock to lock time	6.00s
Kerb to Kerb Turning Radius	7.910m



Large Car (2006)	
Overall Length	5.079m
Overall Width	1.872m
Overall Body Height	1.525m
Min Body Ground Clearance	0.310m
Max Track Width	1.831m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	5.900m

PO2	17.10.24	Updated Masterplan	FA	RH	AS
PO1	22.04.24	FIRST ISSUE	AS	AN	JW
Rev	Date	Revision Note	Drw	Chk	App

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Client
Avant Homes

Project
Allesley, Coventry

Title
**Site Access Junction
Vehicle Swept Paths**

Drawing Issue Status
For Planning

PJA Ref	Scale @ A1	Date
07905/A	1:250	April 2024
Drawing No.		Revision
07905-CI-A-0003		P02
Primary Contact	Andrew.Nixon@pja.co.uk	

Internal Overview Plan (1:250)



Notes

- Do not scale from this drawing.
- All dimensions in metres unless stated otherwise.
- This drawing is based on topographical survey (Dated: Jan 2022, Drawing reference: U0244, provided by Safe Dig Surveys and File Name:U0244 - Sheet 1) and OS mapping (OS license number 100022432) information.
- OS background is shown indicatively to cover un-surveyed areas in the topographical survey provided.
- This drawing is not to be reproduced in any part or form without consent of PJA Civil Engineering Ltd. All copyright reserved.
- The design details presented must be reviewed in conjunction with the wider site information and site constraints.
- No liability will be accepted by PJA for negligence or otherwise in relation to the accuracy of the topographical survey / OS mapping which have been received by third parties and it's contents.
- Reproduction from the Ordnance Survey map with permission of the controller of His Majesty's Stationary Office.
- The purpose of this drawing is to present vehicle visibilities within the internal development layout.
- The drawing has been produced to support outline planning application.
- Site specific detailed surveys need to be carried out to confirm design information, which may impact the outline design proposals. These include, but are not limited to, ground conditions, groundwater levels, utilities, ecology, tree protection etc. Impacts related to other civils features have not been detailed and are subject to detailed design.
- Any existing details which are shown on this drawing are for guidance only and are to be checked on site.
- The design speeds of the proposed internal roads are 20mph on local residential street and 15mph for shared use street based upon a Coventry City Council Design Guide - Highway Design.
- The internal road has been reviewed against Coventry City Council Design Guide - Highway Design and Manual for Streets.
- Reference of source data:
 - Topographical survey (Dated: Jan 2022, Drawing reference: U0244, provided by Safe Dig Surveys and File Name:U0244 - Sheet 1)
 - OS mapping (OS license number 100022432)
 - Masterplan (Dated: 20.09.24, Drawing reference: 1310-24-200-C, provided by Avant Homes and file name: 1310-24-200rev.C - Planning Layout)
 - Highway boundary - produced from pdf plans dated 07.03.24 from Coventry Highways Adoptions. The boundary produced follows features lines on the topographical survey and OS mapping where the survey is limited.
- The design criteria and philosophy are subject to local authority agreement.

CDM Note

These drawings have been produced with reference to the CDM Regulations 2015. Please note that these are pre-construction phase drawings and should be subject to further design risk management as required in accordance with Regulation 9.

The residual risks identified on the DRA / drawings are based on the information available at the time of design. Any services information indicated on PJA drawings is obtained from third parties, and is given for guidance purposes only. The exact location of any services will need to be verified by the client / contractor before commencing works on site.

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PRELIMINARY DESIGN
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Design is subject to full review upon receipt of comments from:

- Development Control
- LA Planning Authority
- Environment Agency
- LA Highways Department
- Sewerage Undertaker

Key

- Site Boundary
- Shared Drive Visibility (2.4 x 25m Coventry City Highway Design Guide)
- Tangential Visibility
- Forward Visibility (25m)

P01	25.10.2024	FIRST ISSUE	FA	RH	AS
Rev	Date	Revision Note	Drw	Chk	App

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Client
Avant Homes

Project
Allesley, Coventry

Title
Internal Visibility Assessment

Drawing Issue Status
For Planning

PJA Ref 07905/A	Scale @ A1 As Stated	Date OCT 2024
Drawing No. 07905-CI-A-0004		Revision P01
Primary Contact andrew.nixon@pja.co.uk abbie.smart@pja.co.uk		

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



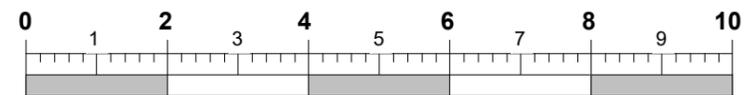
Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Right Side Elevation
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	"Standard" elevation style renamed "Traditional Brick".
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

DATE: 12/07/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE:
Planning Sheet - Elevations - Traditional Brick

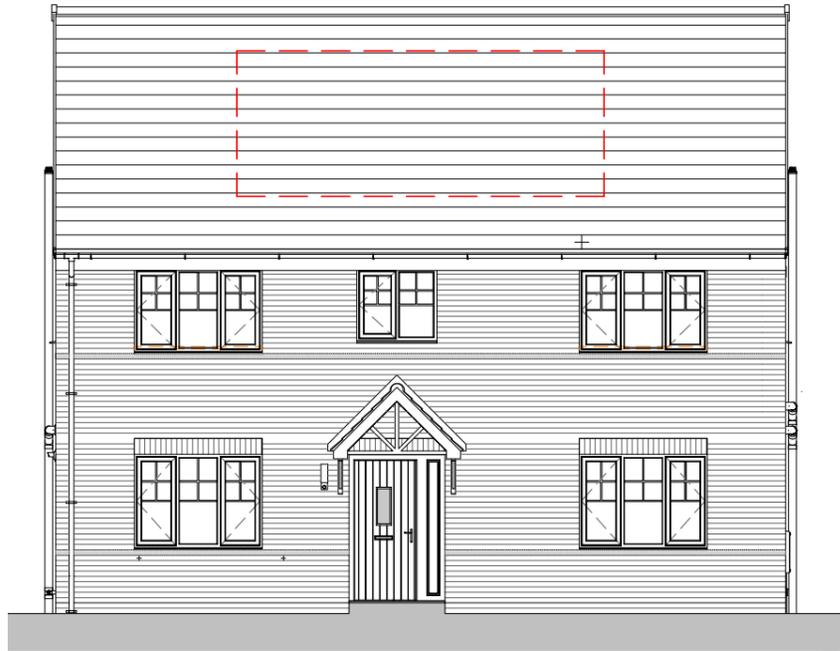
HOUSE TYPE:
Appleton - Det

COINS REFERENCE:

DRWG No:
APP/0-002

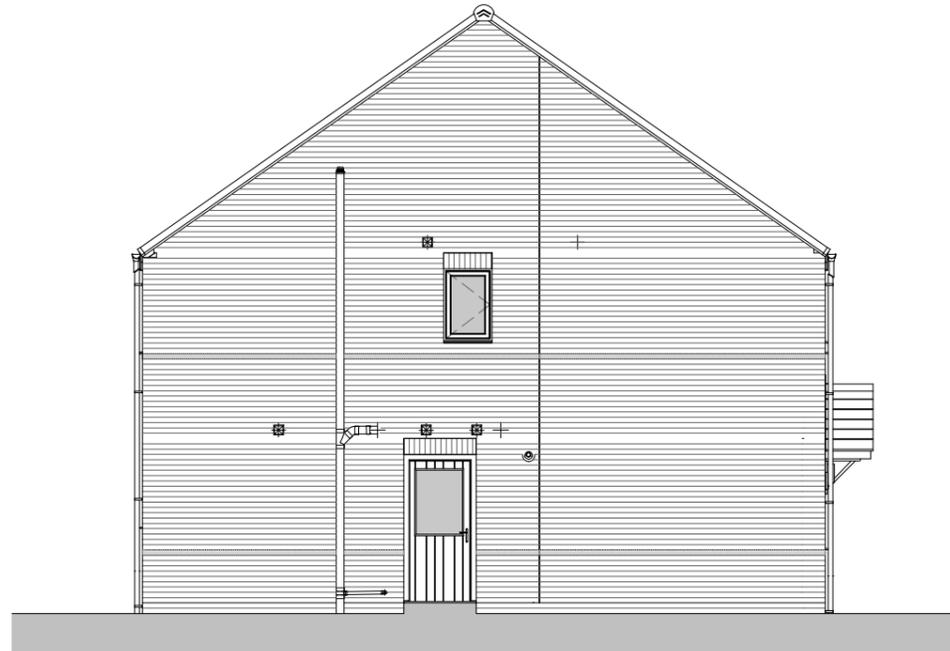
REV:
B

NOTE: Dashed lines on roof denote PV panel location.
 Size and amount dependant on site location/orientation



Front Elevation

1 : 100



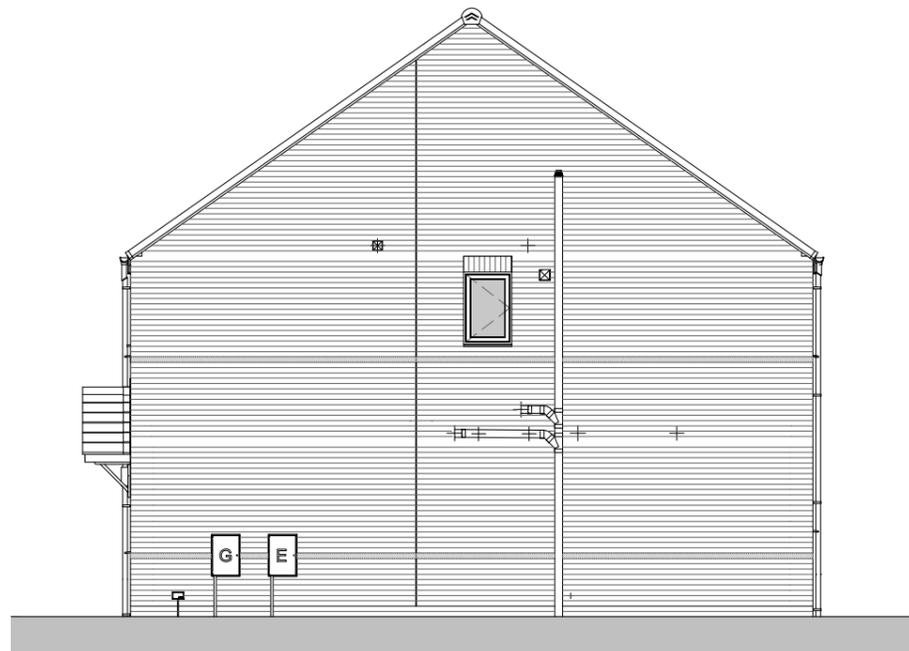
Left Side Elevation

1 : 100



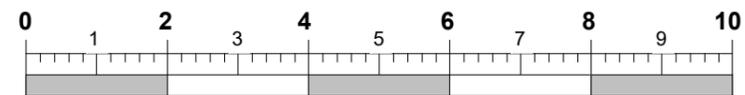
Rear Elevation

1 : 100



Right Side Elevation

1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	"Standard" elevation style renamed "Traditional Brick".
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

DATE: 12/07/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

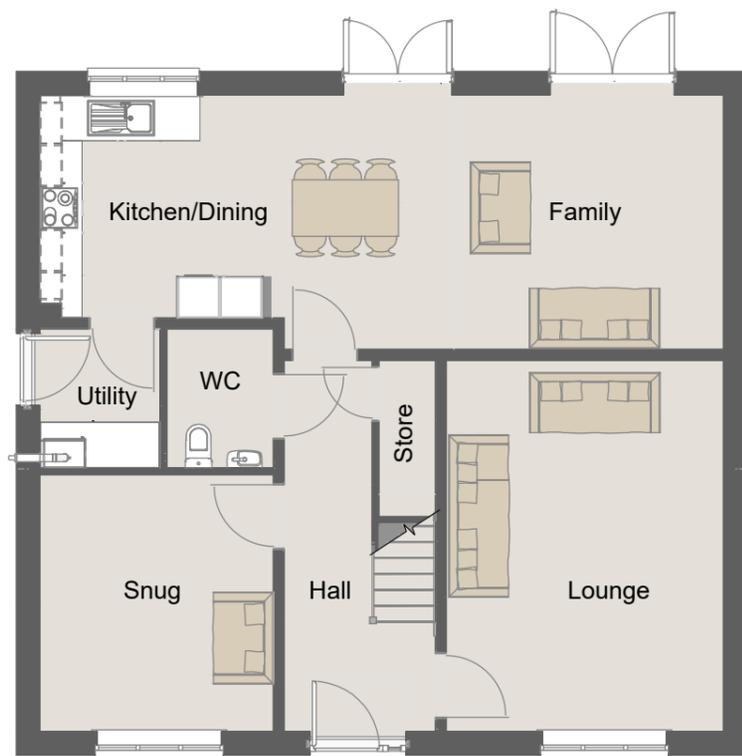
DWG TITLE: Planning Sheet - Elevations - Traditional Brick

HOUSE TYPE: Appleton - Det

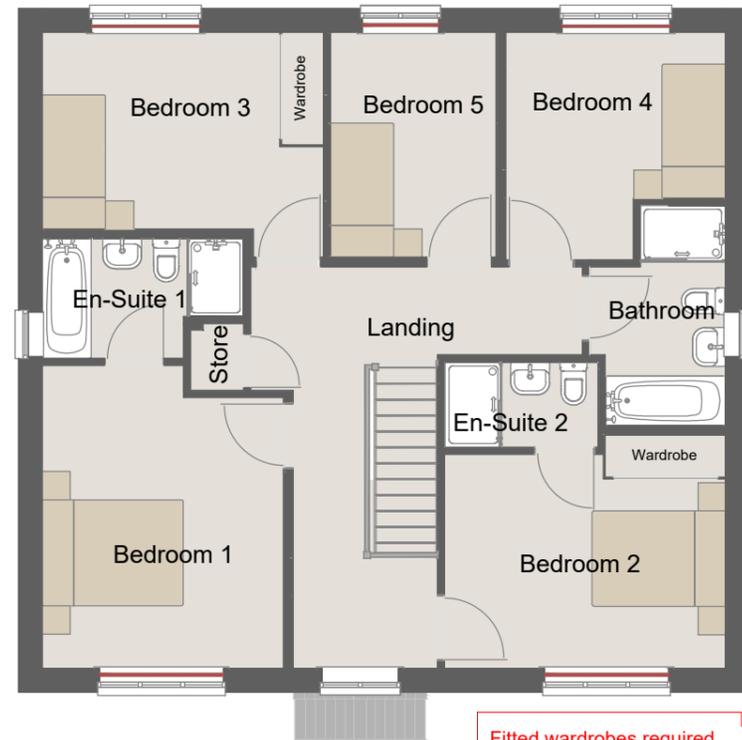
COINS REFERENCE:

DRWG No: APP/0-002

REV: B



Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	WWHR relocated from GF WC to kitchen. Kitchen amended to allow WWHR boxing. SVP boxing removed from cylinder store. Bed 1 ensuite shower tray increased from 1000x800mm to 1100x800mm.
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

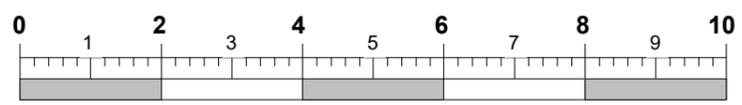
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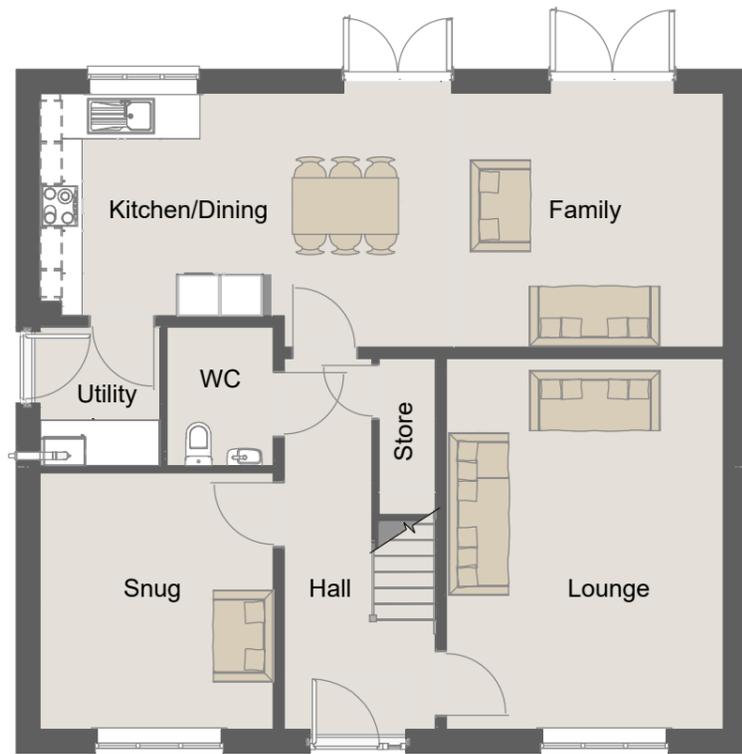
DWG TITLE:
**Planning Sheet - Floor Plans -
Traditional Brick**

HOUSE TYPE:
Appleton - Det

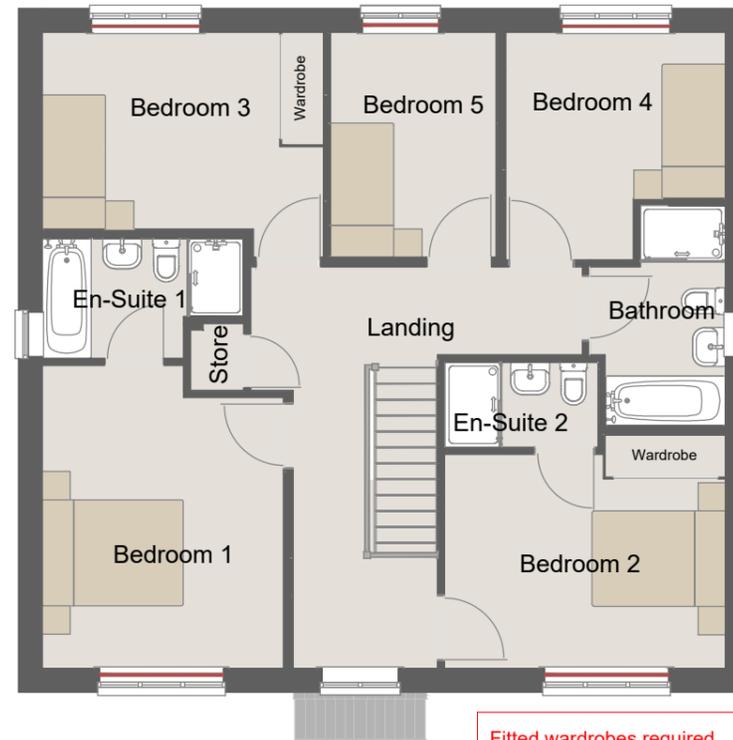
COINS REFERENCE:

DRWG No: **APP/0-001** REV: **B**





Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	WWHR relocated from GF WC to kitchen. Kitchen amended to allow WWHR boxing. SVP boxing removed from cylinder store. Bed 1 ensuite shower tray increased from 1000x800mm to 1100x800mm.
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

DATE: 12/07/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

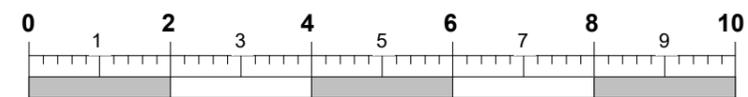
DWG TITLE:
Planning Sheet - Floor Plans -
Traditional Brick

HOUSE TYPE:
Appleton - Det

COINS REFERENCE:

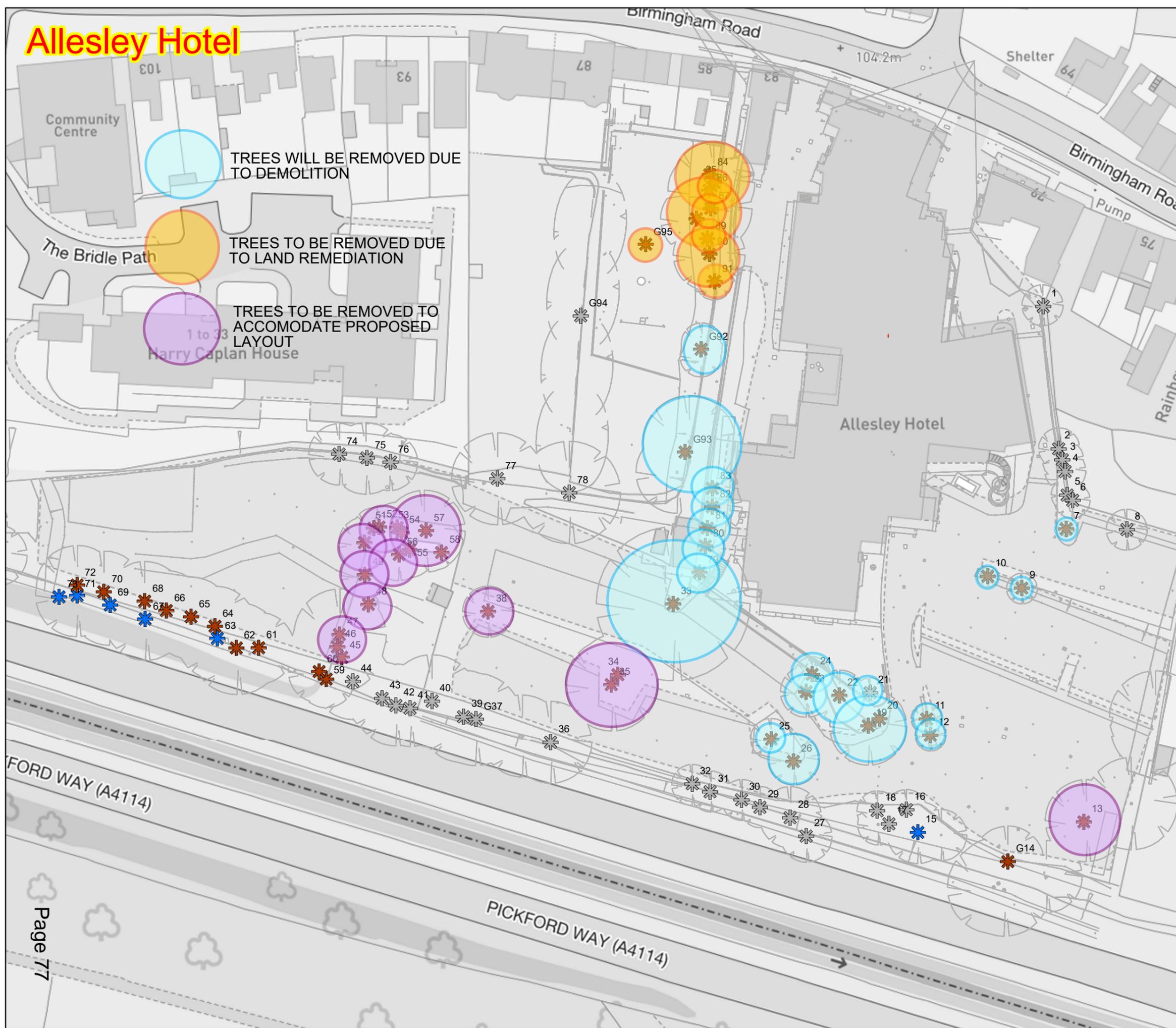
DRWG No:
APP/0-001

REV:
B



Scale Bar @ 1:100
(m)

Allesley Hotel



Trees & Groups

BS5837_Cat

- B1
- C1
- U



Scale: 1:695 @ A3 Scale



DEMOLITION / LAND REMEDIATION TREE LOSS PLAN

Contains Ordnance Survey Open Data © Crown Copyright and Database Right 2022.

Tree Survey

Allesley Hotel

Drawing No	Allesley Hotel_Rev1
Date	

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



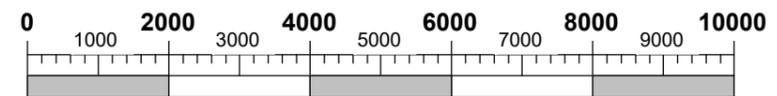
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Scale Bar @ 1:100
(mm)

REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue

AVANT
homes

AV23 SPECIFICATION

PLANNING

DATE: 19/05/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE:
Planning Sheet - Elevations - Standard

HOUSE TYPE:
Ferndale - End

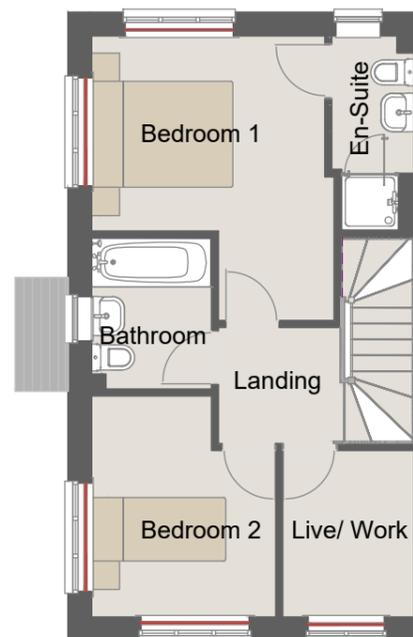
COINS REFERENCE:

DRWG No:
FER/END/0-002

REV:
A



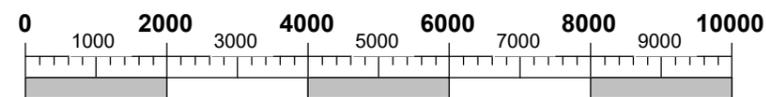
Ground Floor
1 : 100



First Floor
1 : 100

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
12/07/2023	1 : 100	GROUP	
DWG TITLE:			
Planning Layout - Floor Plans			
HOUSE TYPE:			
Ferndale - End			
COINS REFERENCE:			
DRWG No:	REV:		
FER/END/0-001.5	A		



Scale Bar @ 1:100
(mm)



Front Elevation
1 : 100



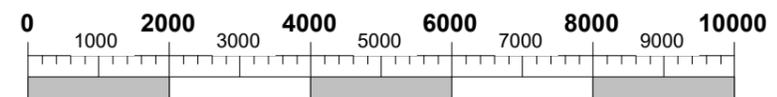
Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Right Side Elevation
1 : 100

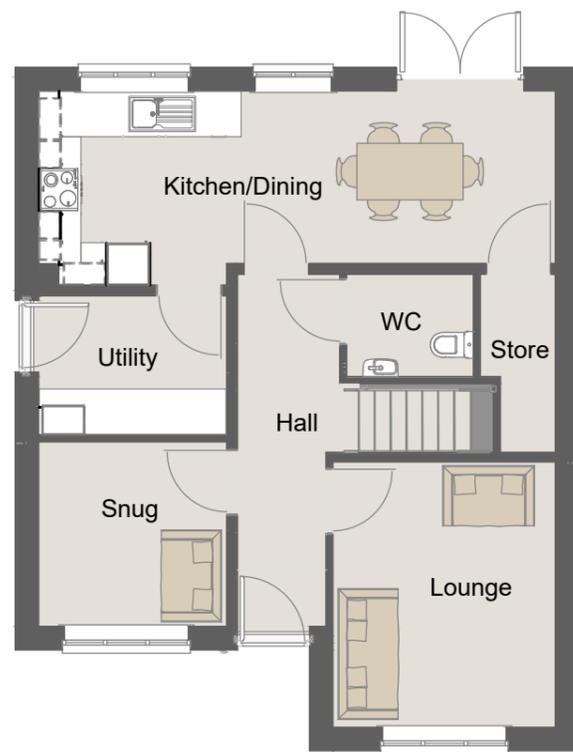


Scale Bar @ 1:100
(mm)

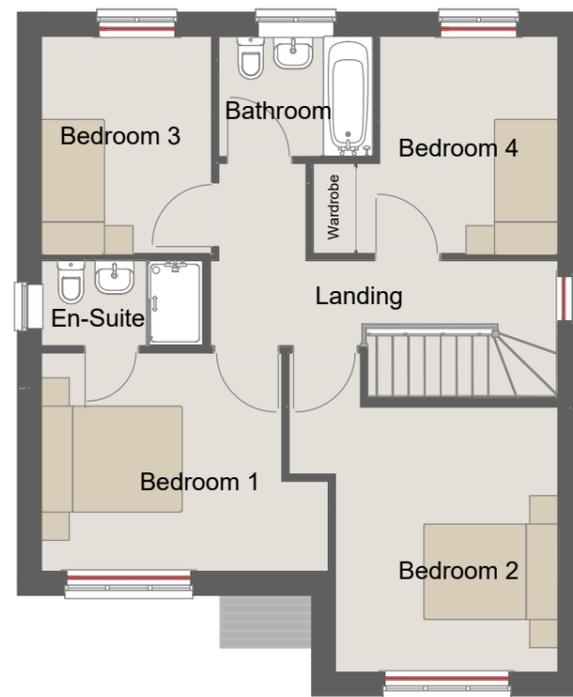
This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
<p>AV23 SPECIFICATION</p> <p>PLANNING</p>			
DATE:	19/05/2023	SCALE @ A3:	1 : 100
DWG TITLE:	Planning Sheet - Elevations - Standard		
HOUSE TYPE:	Horbury - Coventry plots 12, 47		
COINS REFERENCE:			
DRWG No:	HOR/0-002		REV: A



Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	Stair opening width amended. Lounge increased 34mm in length. WWHR boxing relocated from utility to kitchen.
A	17/07/2023	BLK	First Issue



AV23 SPECIFICATION

PLANNING

DATE: 19/05/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

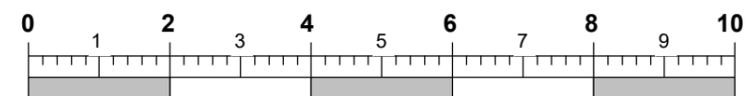
DWG TITLE:
Planning Sheet - Floor Plans -
Traditional Brick

HOUSE TYPE:
Horbury - Det

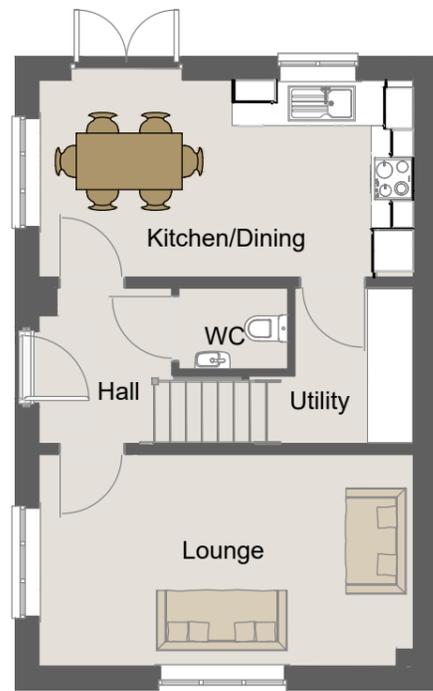
COINS REFERENCE:

DRWG No:
HOR/0-001

REV:
B



Scale Bar @ 1:100
(m)



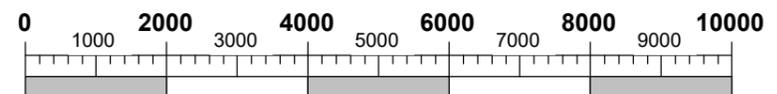
Ground Floor.
1 : 100



First Floor.
1 : 100

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
18/05/2023	1 : 100	GROUP	
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Leyburn - Det			
COINS REFERENCE:			
DRWG No:	REV:		
LEY/DET/0-001	A		



Scale Bar @ 1:100
(mm)

NOTE: Dashed lines on roof denote PV panel location.
 Size and amount dependant on site location/orientation



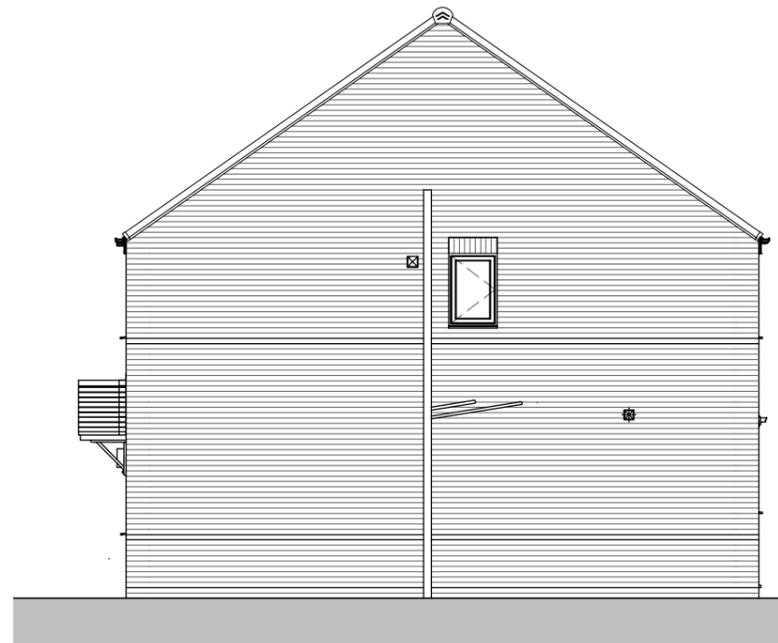
Front Elevation
 1 : 100



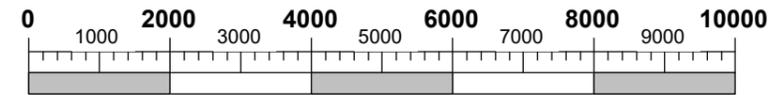
Left Elevation
 1 : 100



Rear Elevation
 1 : 100



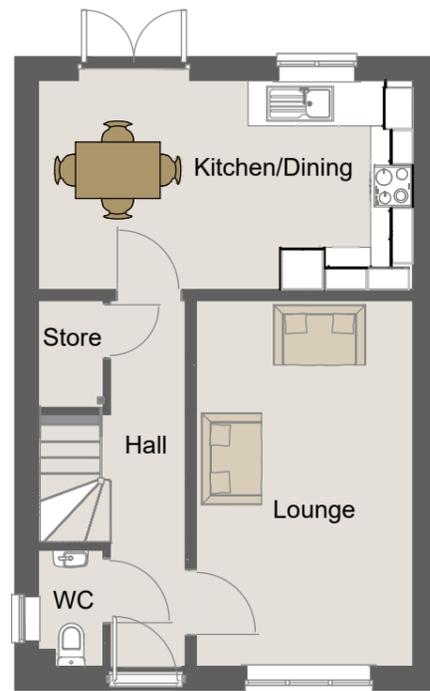
Right Elevation
 1 : 100



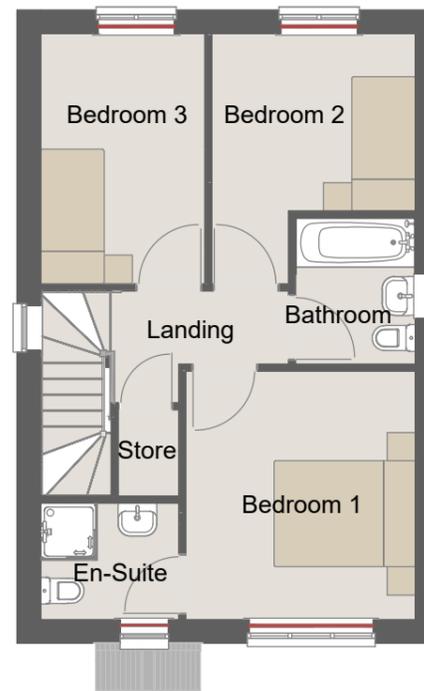
Scale Bar @ 1:100
 (mm)

This Housetype is compliant with NDSS

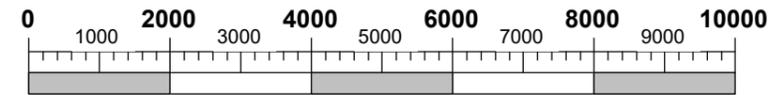
REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
18/05/2023	1 : 100	GROUP	
DWG TITLE:			
Planning Sheet - Elevations - Standard			
HOUSE TYPE:			
Maltby - Det			
COINS REFERENCE:			
DRWG No:	REV:		
MAL/0-002	A		



Ground Floor.
1 : 100



First Floor.
1 : 100



Scale Bar @ 1:100
(mm)

This Housetype is compliant with
NDSS

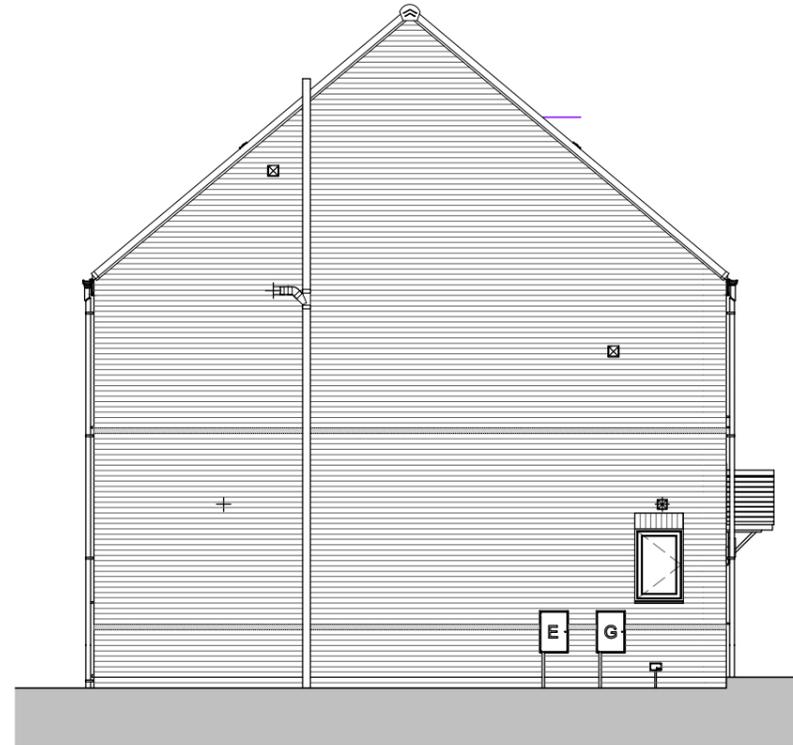
REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
18/05/2023	1 : 100	GROUP	
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Maltby - Det			
COINS REFERENCE:			
DRWG No:	REV:		
MAL/0-001	A		

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation

1 : 100



Left Elevation

1 : 100



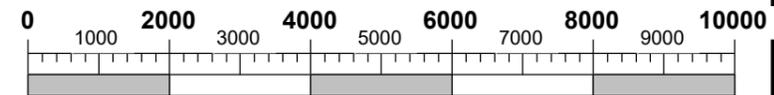
Rear Elevation

1 : 100



Right Elevation

1 : 100



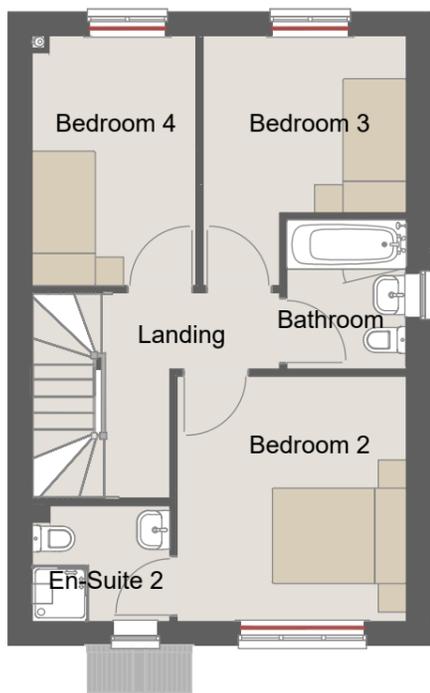
Scale Bar @ 1:100
(mm)

This Housetype is compliant with NDSS

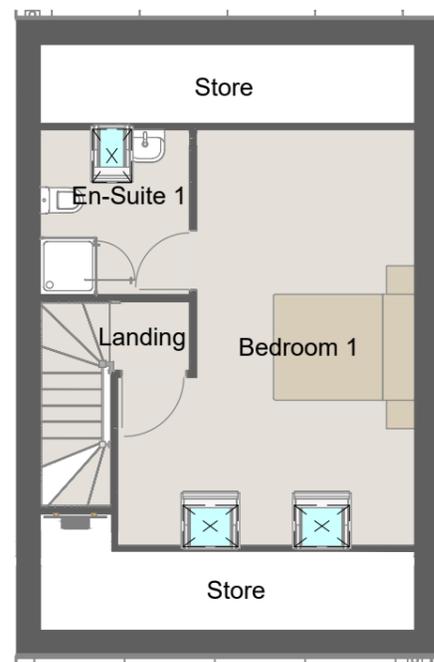
REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
15/06/2023	1 : 100	GROUP	
DWG TITLE:			
Planning Sheet - Elevations - Standard			
HOUSE TYPE:			
Netherton - Det			
COINS REFERENCE:			
DRWG No:	REV:		
NET/DET/0-002	A		



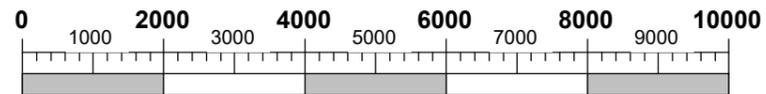
Ground Floor.
1 : 100



First Floor.
1 : 100



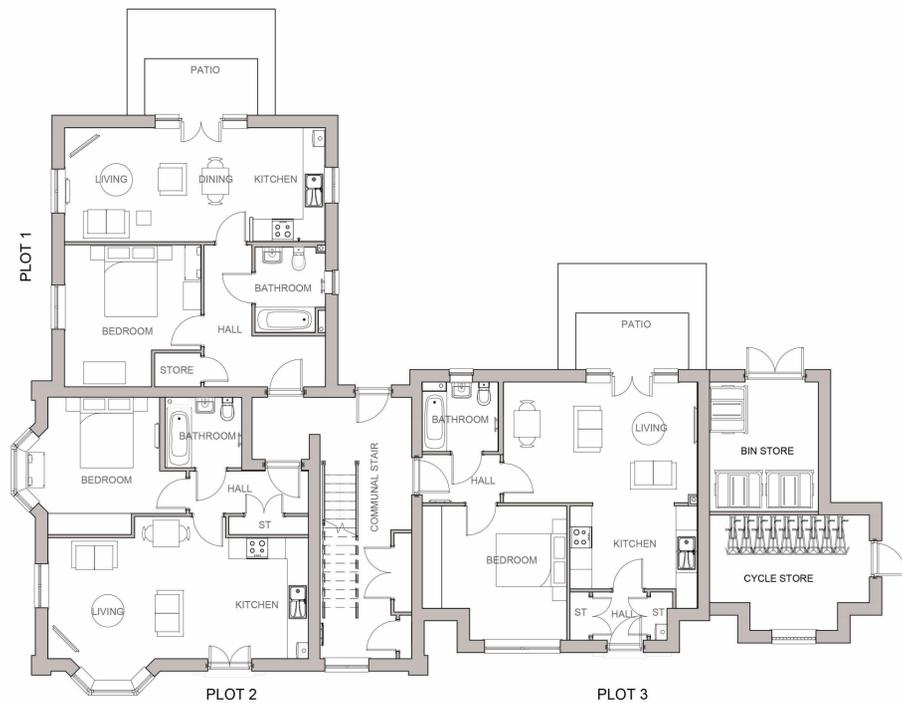
Second Floor.
1 : 100



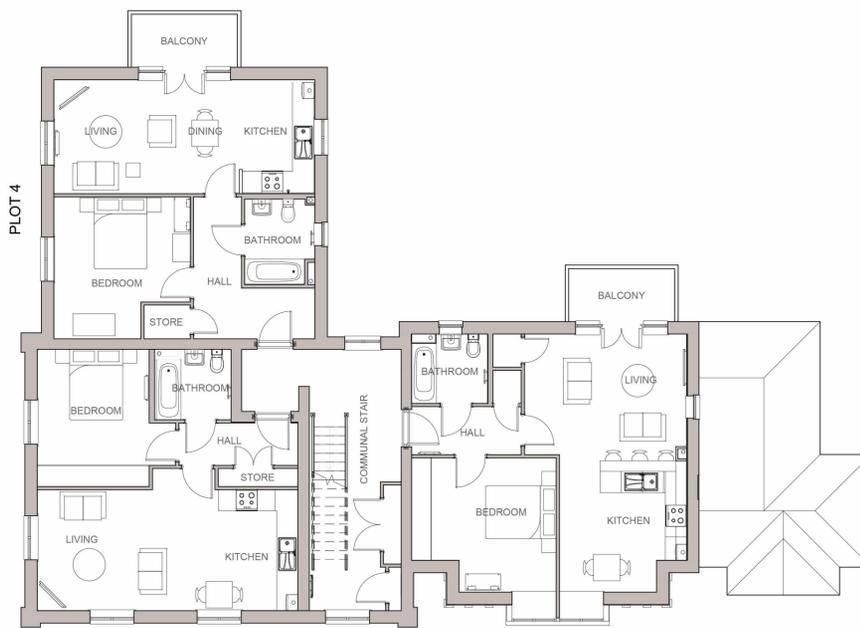
Scale Bar @ 1:100
(mm)

This Housetype is compliant with NDSS

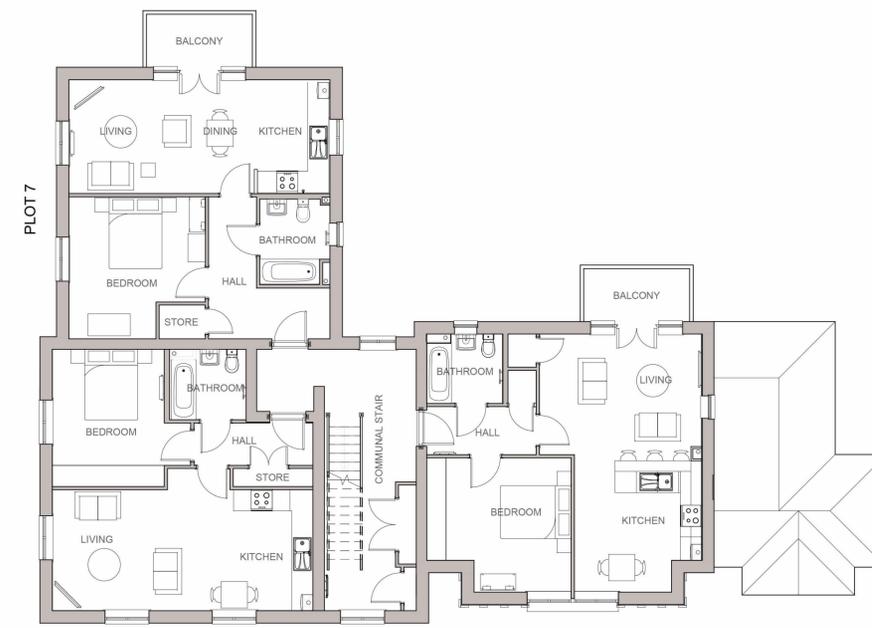
REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
15/06/2023	1 : 100	GROUP	
DWG TITLE:			
Planning Sheet - Floor Plans			
HOUSE TYPE:			
Netherton - Det			
COINS REFERENCE:			
DRWG No:	REV:		
NET/DET/0-001	A		



Ground Floor Plan



First Floor Plan



Second Floor Plan



Front Elevation



Left Side Elevation



Rear Elevation



Right Side Elevation

MATERIALS KEY - Plots 1,2,4,5,7,8 and Communal Area

- ① Facing Brickwork - Colour Orange
- ② Main Roof - Ibscock Gemini - Mixed Russett
- ③ Windows - Georgian Style Sash windows painted white
- ④ Window Cills - Reconstituted Stone
- ⑤ Window Head - Reconstituted Stone Key and Orange Brick Voussoirs
- ⑥ Plot 2 Entrance Surround - Reconstituted Stone
- ⑦ Fascia and soffit - Profiled and painted white
- ⑧ Gutters and Downpipes - Brett Martin Cast Iron effect - Classic Black
- ⑨ Chimney Pots - Forterra Roll Top Pot - Colour Buff
- ⑩ Entrance Door to Communal Area - Colour White
- ⑪ Balconies - Stone clad base with decorative railings

MATERIALS KEY - Plots 3,6,9

- A Facing Brickwork - Red Multi
- B Main Roof - Ibscock Gemini - Mixed Russett
- C Vertical Tile Hanging - Concrete Plain tiles - Colour Farmhouse Red
- D Windows - Tudor Style windows painted White with leaded lights
- E Window Cill and Surrounds to Front and Right Side Elevations - Reconstituted Stone
- F Window Heads to Rear Elevation - Red Brick Voussoirs
- G Plot 3 Entrance Surround - Reconstituted Stone
- H Fascia and soffit - painted Brown
- J Tudor Boarding - Painted Brown
- K Gutters and Downpipes - Brett Martin Cast Iron effect - Classic Black
- L Chimney Pots - Forterra Roll Top Pot - Colour Red
- M Entrance Door to Plot 3 - Colour Blue
- N Balconies - Stone clad base with decorative railings

Note. Samples of all materials to be presented to LA for approval prior to construction

Apartment Floor Area Schedule	
Plot No.	Area sq.ft
Plot 1, 4 & 7	583
Plot 2	567
Plot 3, 6 & 9	590
Plot 5 & 8	545

Rev	Description	Date	By	Chk
Rev D	Amended to Heritage consultant comments	26.06.25	DW	Chk
Rev C	Amended to Heritage consultant comments	18.03.25	DW	Chk
Rev B	Amended following Design Team review	17.03.25	DW	Chk
Rev A	Amended to client comments	25.02.25	DW	Chk
Rev	Amendment			

Revisions:

Client:
AVANT HOMES

Site:
DEVELOPMENT AT BIRMINGHAM ROAD, ALLESLEY, COVENTRY

Title:
PLOTS 1 - 9
FLOOR PLANS AND ELEVATIONS - OPTION A

Scale: 1:100 @ A1
Date: FEBRUARY 2025

Rev: 1694-33
D:

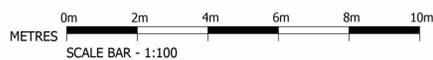
DWG File Ref: K:\Avant Homes\1694\Planning\Current\1694-33.dwg
DRAWN: DJW

MINOR INACCURACIES MAY OCCUR DUE TO PRINTING PROCESSES, SCALED DIMENSIONS SHOULD NOT BE TAKEN FROM THIS DRAWING UNLESS FOR THE PURPOSES OF VERIFYING OR DETERMINING ANY PLANNING APPLICATION. ALL WRITTEN / SCALED DIMENSIONS & FLOOR AREAS ARE SUBJECT TO VERIFICATION BY CONTRACTOR(S) ON SITE.

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Site Plan - 1:500



Kevin R. Twigger & Associates Ltd
Rushall House, School Road, Brewood, Staffs, ST19 9DS
t | 01902 851 641 e | admin@krtassociates.co.uk
w | www.krtassociates.co.uk

ARCHITECTURAL • CIVIL ENGINEERING
LAND SURVEYORS • LANDSCAPE DESIGN

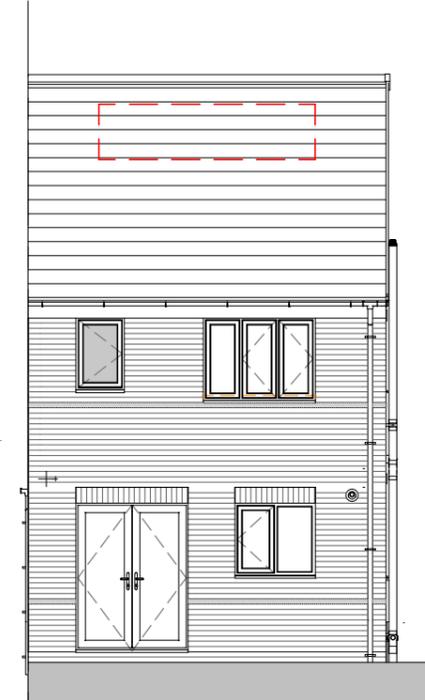
NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
D	17/01/2025	GK	Bedroom 1 and kitchen window on rear elevation relocated. Brick band course now shown porch. HWB waste now shown to left side elevation.
C	01/11/2024	GK	W05 (Bed 2) on front elevation and W08 (Bed 01) window on rear elevation amended to floating mullion and fixed dummy sash. Scale bar amended from millimeters to meters. "Standard" elevation style renamed "Traditional Brick".



AV23 SPECIFICATION

PLANNING

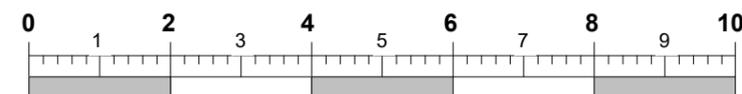
DATE: 23/06/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE: Planning Sheet - Elevations - Traditional Brick

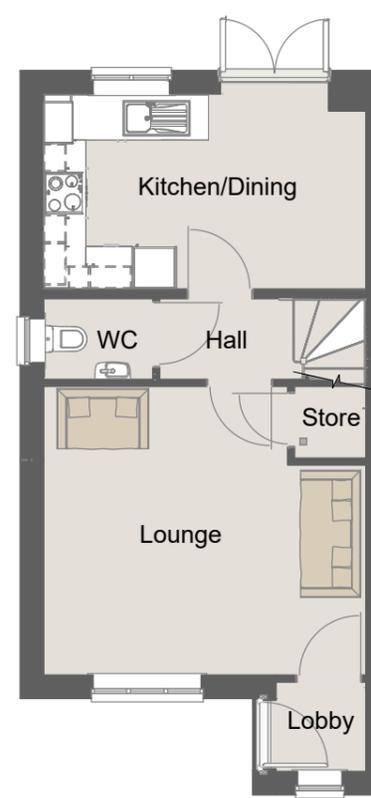
HOUSE TYPE: Ripley - End

COINS REFERENCE:

DRWG No: RIP/END/0-002.5 REV: D



Scale Bar @ 1:100 (m)



Ground Floor
1 : 100



First Floor
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

REV	DATE	BY	AMENDMENTS
D	17/01/2025	GK	Lobby now partitioned. Kitchen and bedroom 1 window moved 113mm East. Ensuite WC and HWB position relocated. Wardrobe updated to correctly show size.
C	01/11/2024	GK	Scale bar amended from millimeters to meters.
B	22/09/2023	BLK	Ensuite SVP relocated to top right corner, Shower increased from 800x800 to 800 x1000
A	17/07/2023	BLK	First Issue

AVANT
homes

AV23 SPECIFICATION

PLANNING

DATE: 23/06/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

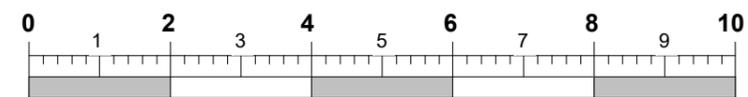
DWG TITLE:
Planning Sheet - Floor Plans

HOUSE TYPE:
Ripley - End

COINS REFERENCE:

DRWG No:
RIP/END/0-001.5

REV:
D



Scale Bar @ 1:100
(m)

17/01/2025 10:51:04

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	17/01/2025	GK	Bedroom 1 and kitchen window on rear elevation relocated. Brick band course now shown porch. HWB waste now shown to left side elevation.
B	01/11/2024	GK	Windows W05 (Bed 2) on front elevation and W06 (Bed 01) window on rear elevation amended to floating mullion and fixed dummy sash. Scale bar amended from millimeters to meters. "Standard" elevation style renamed "Traditional Brick".



AV23 SPECIFICATION
PLANNING

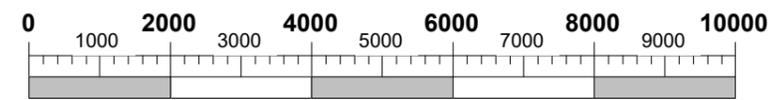
DATE: 06/09/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE:
NDSS Planning Sheet - Elevations - Traditional Brick

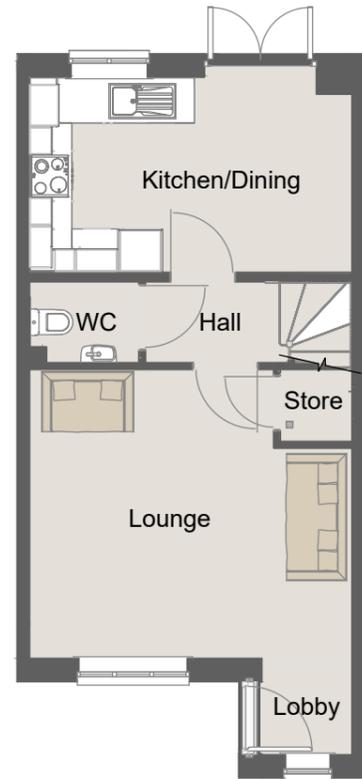
HOUSE TYPE:
Ripley - Mid

COINS REFERENCE:

DRWG No: RIP/MID/0-002.5 REV: C



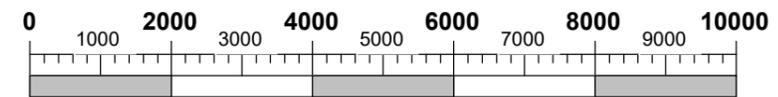
Scale Bar @ 1:100 (mm)



Ground Floor
1 : 100



First Floor
1 : 100



Scale Bar @ 1:100
(mm)

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
A	06/09/2023	BLK	First Issue
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	SCALE @ A3:	DRAWN BY:	
06/09/2023	1 : 100	GROUP	
DWG TITLE:			
NDSS Planning Sheet - Floor Plans			
HOUSE TYPE:			
Ripley - Mid			
COINS REFERENCE:			
DRWG No:	REV:		
RIP/MID/0-001.5	A		

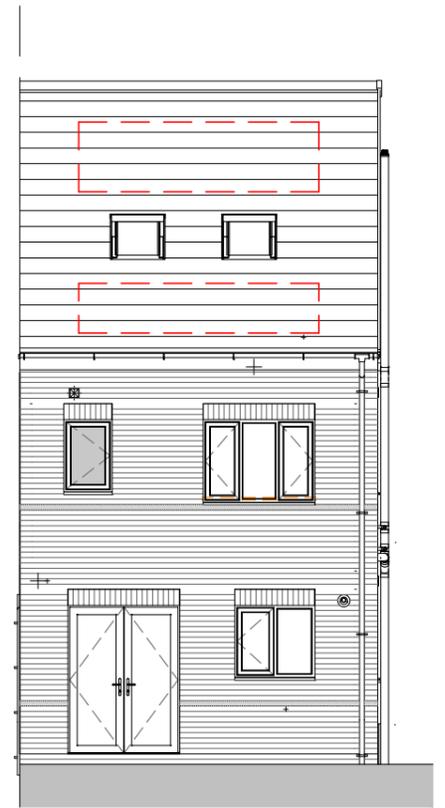
NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	28/02/2025	GK	WC mechanical extract added to left elevation
B	14/02/2025	GK	"Standard" elevation style renamed "Traditional Brick". Scale bar amended to show meters.
A	17/07/2023	BLK	First Issue



AV23 SPECIFICATION

PLANNING

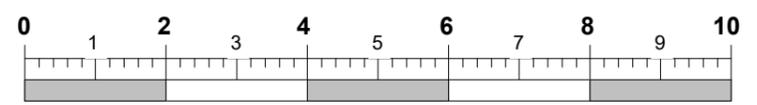
DATE: 23/06/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE:
Planning Sheet - Elevations - Traditional Brick

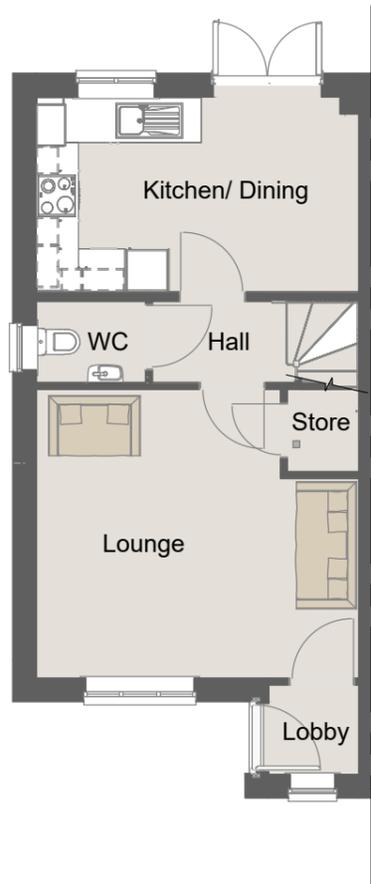
HOUSE TYPE:
Salbury - End

COINS REFERENCE:

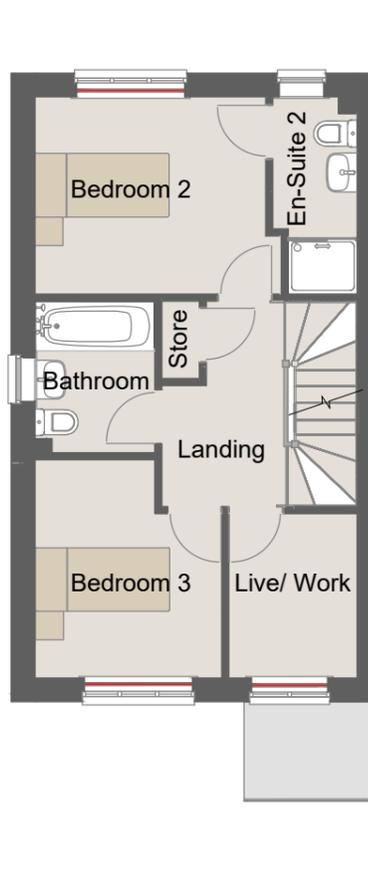
DRWG No: SAL/END/0-002.5 REV: C



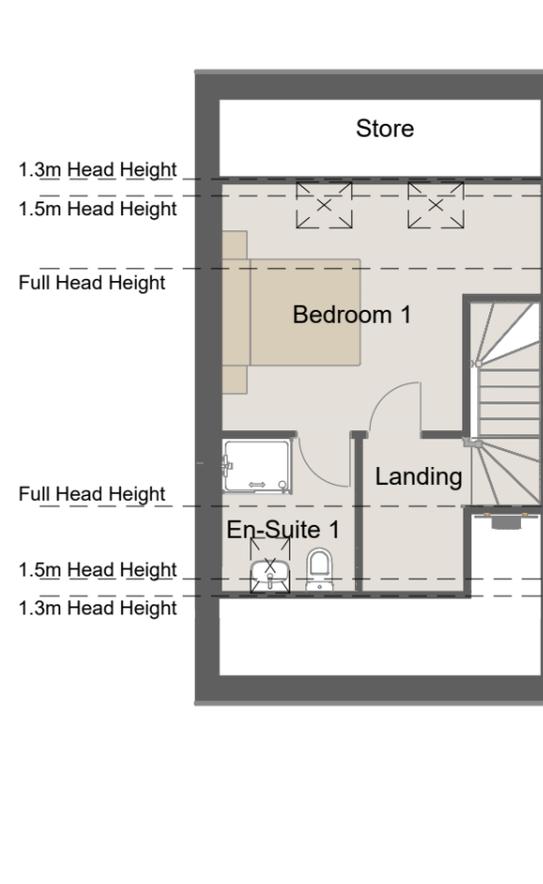
Scale Bar @ 1:100 (m)



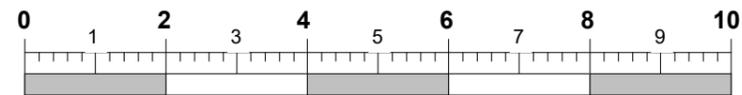
Ground Floor
1 : 100



First Floor
1 : 100



Second Floor
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	14/02/2025	GK	Scale bar amended to show meters. Head height added to second floor plan.
A	17/07/2023	BLK	First Issue

AVANT
homes

AV23 SPECIFICATION

PLANNING

DATE: 23/06/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

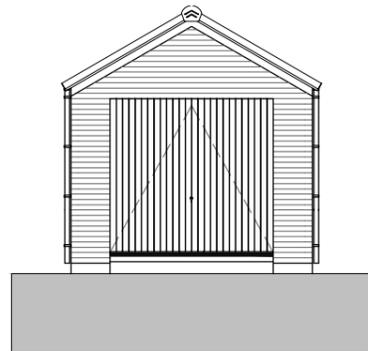
DWG TITLE:
Planning Sheet - Floor Plans

HOUSE TYPE:
Salbury - End

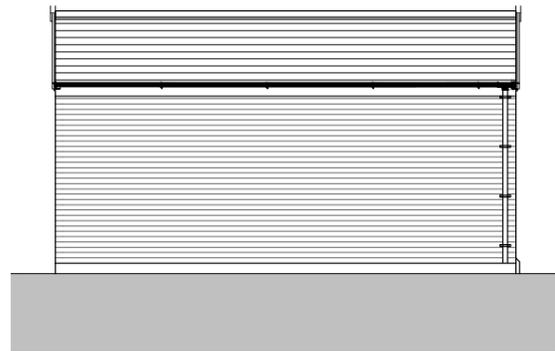
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DRWG No: SAL/END/0-001.5

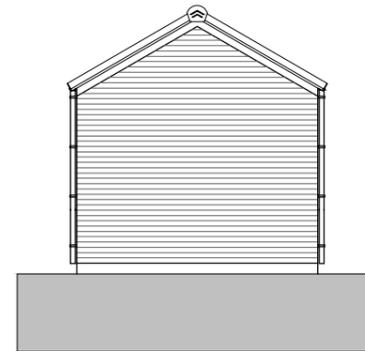
REV: B



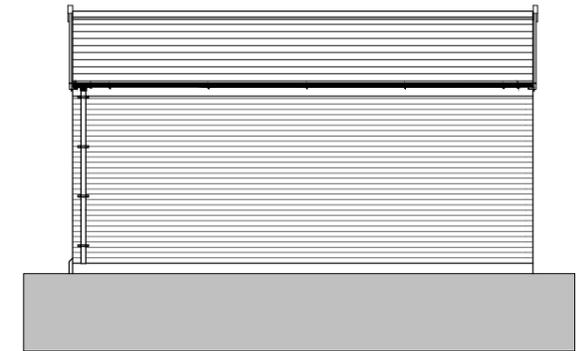
Front Elevation.
1 : 100



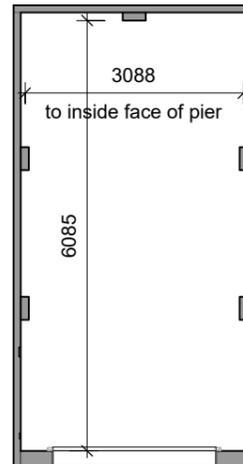
Left Elevation.
1 : 100



Rear Elevation.
1 : 100



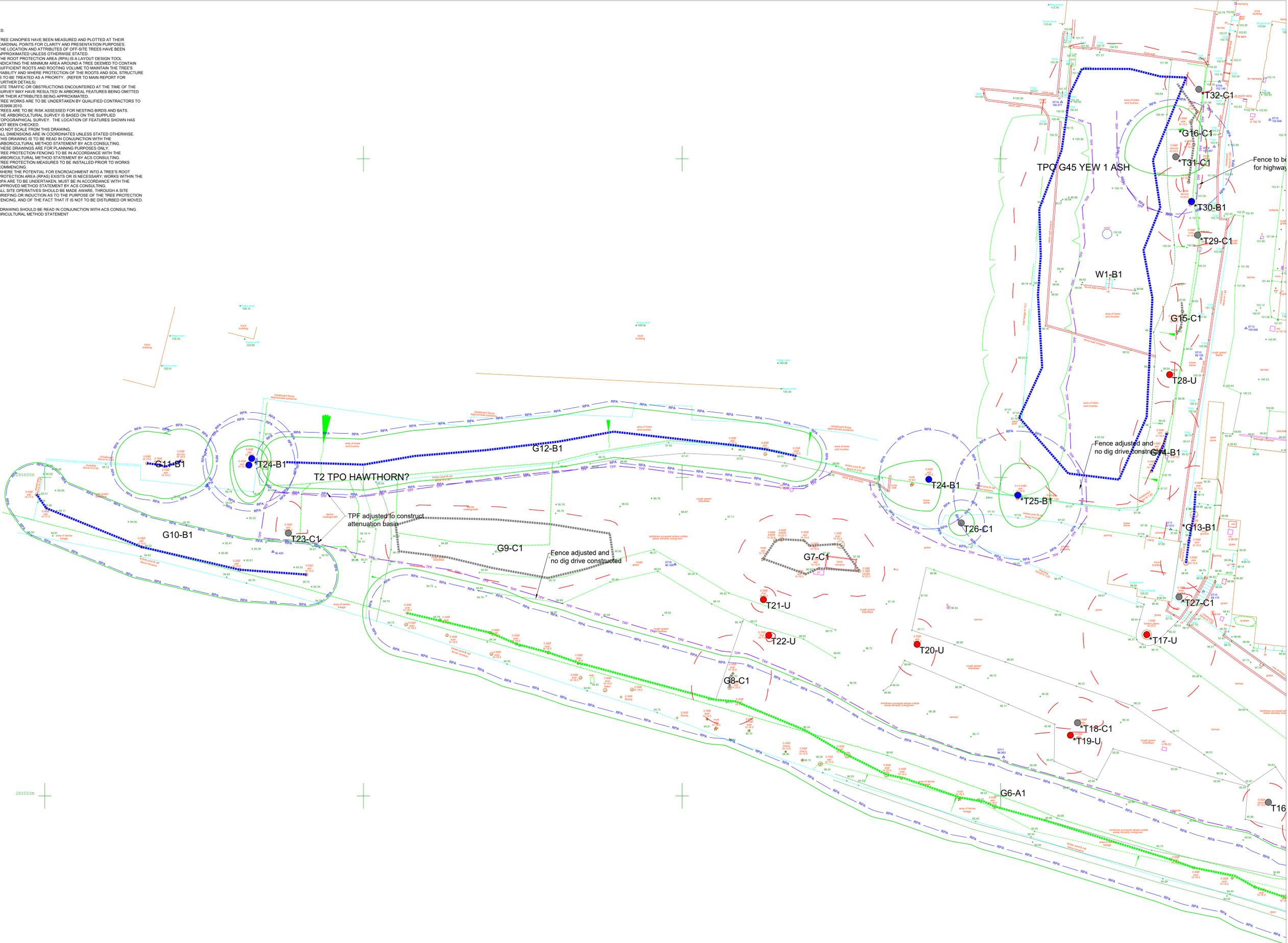
Right Elevation.
1 : 100



Floor Plan
1 : 100

A	29/06/2021	EA	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV22 SPECIFICATION			
Planning			
Area:		0 m ² / 0 sq.ft.	
DATE:	SCALE @ A3:	DRAWN BY:	
10/10/22	1 : 100	TS	
DWG TITLE: Planning Drawings			
HOUSE TYPE: Garage - Single - Gable Front			
COINS REFERENCE: GgeSD			
DRWG No: 500/005			REV: A

- NOTES:
- TREE CANOPIES HAVE BEEN MEASURED AND PLOTTED AT THEIR CARDINAL POINTS FOR CLARITY AND PRESENTATION PURPOSES. THE LOCATION AND ATTRIBUTES OF OFF-SITE TREES HAVE BEEN APPROXIMATED UNLESS OTHERWISE STATED.
 - THE ROOT PROTECTION AREA (RPA) IS A LAYOUT DESIGN TOOL INDICATING THE MINIMUM AREA AROUND A TREE DEEMED TO CONTAIN SUFFICIENT ROOTS AND ROOTING VOLUME TO MAINTAIN THE TREE'S VIABILITY AND WHERE PROTECTION OF THE ROOTS AND SOIL STRUCTURE IS TO BE TREATED AS A PRIORITY. (REFER TO MAIN REPORT FOR FURTHER DETAILS)
 - SITE TRAFFIC OR OBSTRUCTIONS ENCOUNTERED AT THE TIME OF THE SURVEY MAY HAVE RESULTED IN ARBORIAL FEATURES BEING OMITTED OR THEIR ATTRIBUTES BEING APPROXIMATED.
 - TREE WORKS ARE TO BE UNDERTAKEN BY QUALIFIED CONTRACTORS TO BS5866:2010.
 - TREES ARE TO BE RISK ASSESSED FOR NESTING BIRDS AND BATS. THE ARBORICULTURAL SURVEY IS BASED ON THE SUPPLIED TOPOGRAPHICAL SURVEY. THE LOCATION OF FEATURES SHOWN HAS NOT BEEN CHECKED.
 - DO NOT SCALE FROM THIS DRAWING.
 - ALL DIMENSIONS ARE IN COORDINATES UNLESS STATED OTHERWISE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARBORICULTURAL METHOD STATEMENT BY ACS CONSULTING.
 - THESE DRAWINGS ARE FOR PLANNING PURPOSES ONLY.
 - TREE PROTECTION FENCING TO BE IN ACCORDANCE WITH THE ARBORICULTURAL METHOD STATEMENT BY ACS CONSULTING.
 - TREE PROTECTION MEASURES TO BE INSTALLED PRIOR TO WORKS COMMENCING.
 - WHERE THE POTENTIAL FOR ENCROACHMENT INTO A TREE'S ROOT PROTECTION AREA (RPA) EXISTS OR IS NECESSARY, WORKS WITHIN THE RPA ARE TO BE UNDERTAKEN MUST BE IN ACCORDANCE WITH THE APPROVED METHOD STATEMENT BY ACS CONSULTING.
 - ALL SITE OPERATIVES SHOULD BE MADE AWARE, THROUGH A SITE BRIEFING OR INDUCTION AS TO THE PURPOSE OF THE TREE PROTECTION FENCING, AND OF THE FACT THAT IT IS NOT TO BE DISTURBED OR MOVED.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ACS CONSULTING ARBORICULTURAL METHOD STATEMENT



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Arboricultural Legend (where applicable)

- INDIVIDUAL TREE RETAINED
- INDICATIVE EXTENT OF GROUPED FEATURE RETAINED
- TREES, GROUPS OR HEDGES TO BE REMOVED
- CATEGORY GRADE A
Trees of high quality
- CATEGORY GRADE B
Trees of moderate quality
- CATEGORY GRADE C
Trees of low quality
- CATEGORY GRADE U
Trees unsuitable for retention
- CATEGORY GRADE A
Group/Hedge of high quality
- CATEGORY GRADE B
Group/Hedge of moderate quality
- CATEGORY GRADE C
Group/Hedge of low quality
- CATEGORY GRADE U
Group/Hedge unsuitable for retention
- ROOT PROTECTION AREAS (RPA)
- TREE PROTECTION FENCING
- Tree subject to TPO
- Ancient Woodland
- Shade arc (BS0837)
- SITE BOUNDARY
- OFF-SITE TREES AS RECORDED ON TOPOGRAPHICAL SURVEY

TREE CANOPIES
Tree canopies have been measured and plotted at their cardinal points for clarity and presentation purposes.

ROOT PROTECTION AREA (RPA)
Root Protection Areas are calculated in accordance with BS5866:2010. The Root Protection Area (RPA) is a layout design tool indicating the minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability and where protection of the roots and soil structure is to be treated as a priority. (Refer to main report for further details).

- General Notes**
- The arboricultural survey is based on the supplied OS/Topographical survey. This may contain inaccurate information.
 - The accuracy of the tree/feature location cannot be guaranteed.
 - All arrows on steps / ramps etc indicate an UP direction unless otherwise stated.
 - Contours are shown on soft detail areas only (where applicable) and annotated at the interval identified above. Hard detail areas may be contoured if specifically requested.
 - Site traffic or obstructions encountered at the time of the survey may have resulted in tree/feature features being omitted.

Rev	Date	Description	CAD

ACS Consulting
Booths Park
Crested Road
Kilburn
London NW9 6LH
01992 754422
info@acsconsulting.co.uk

ACS Consulting
272 Bath Street
Glasgow
G2 4JH
0141 554 1033
glasgow@acsconsulting.co.uk

Tree Protection Plan

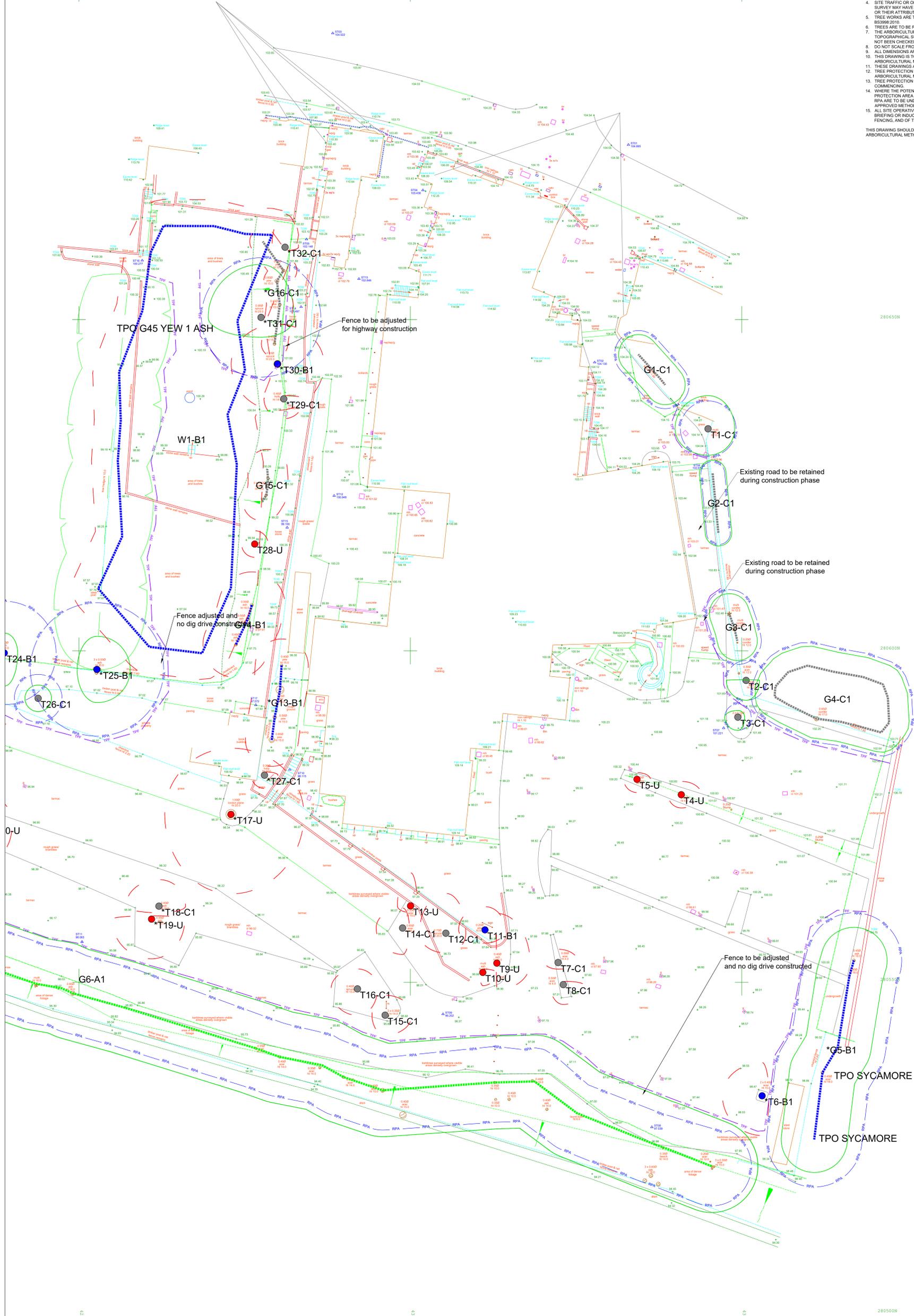
Allesley Hotel
Allesley

Plotted Scale: A0@1:200
M: Survey Date: 1/2024

Surveyor: IRM CAD: SPT Checker: IRM Rev:

Date of Issue: Oct 2024 ACS Ref No: TPP/5180/Y/300

- NOTES:
- TREE CANOPIES HAVE BEEN MEASURED AND PLOTTED AT THEIR CARDINAL POINTS FOR CLARITY AND PRESENTATION PURPOSES.
 - THE LOCATION AND ATTRIBUTES OF OFF-SITE TREES HAVE BEEN APPROXIMATED UNLESS OTHERWISE STATED.
 - THE ROOT PROTECTION AREA (RPA) IS A LAYOUT DESIGN TOOL INDICATING THE MINIMUM AREA AROUND A TREE DEEMED TO CONTAIN SUFFICIENT ROOTS AND ROOTING VOLUME TO MAINTAIN THE TREE'S VIABILITY AND WHERE PROTECTION OF THE ROOTS AND SOIL STRUCTURE IS TO BE TREATED AS A PRIORITY. (REFER TO MAIN REPORT FOR FURTHER DETAILS).
 - SITE TRAFFIC OR OBSTRUCTIONS ENCOUNTERED AT THE TIME OF THE SURVEY MAY HAVE RESULTED IN ARBOREAL FEATURES BEING OMITTED OR THEIR ATTRIBUTES BEING APPROXIMATED.
 - TREE WORKS ARE TO BE UNDERTAKEN BY QUALIFIED CONTRACTORS TO BS3998:2010.
 - TREES ARE TO BE RISK ASSESSED FOR NESTING BIRDS AND BATS.
 - THE ARBORENTAL SURVEY IS BASED ON THE SUPPLIED TOPOGRAPHICAL SURVEY. THE LOCATION OF FEATURES SHOWN HAS NOT BEEN CHECKED.
 - DO NOT SCALE FROM THIS DRAWING.
 - ALL DIMENSIONS ARE IN COORDINATES UNLESS STATED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARBORENTAL METHOD STATEMENT BY ACS CONSULTING.
 - THESE DRAWINGS ARE FOR PLANNING PURPOSES ONLY.
 - TREE PROTECTION FENCING TO BE IN ACCORDANCE WITH THE ARBORENTAL METHOD STATEMENT BY ACS CONSULTING.
 - TREE PROTECTION MEASURES TO BE INSTALLED PRIOR TO WORKS COMMENCING.
 - WHERE THE POTENTIAL FOR ENCROACHMENT INTO A TREE'S ROOT PROTECTION AREA (RPA) EXISTS OR IS NECESSARY, WORKS WITHIN THE RPA ARE TO BE UNDERTAKEN, MUST BE IN ACCORDANCE WITH THE APPROVED METHOD STATEMENT BY ACS CONSULTING.
 - ALL SITE OPERATIVES SHOULD BE MADE AWARE, THROUGH A SITE BRIEFING OR INDUCTION AS TO THE PURPOSE OF THE TREE PROTECTION FENCING, AND OF THE FACT THAT IT IS NOT TO BE DISTURBED OR MOVED.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ACS CONSULTING ARBORENTAL METHOD STATEMENT



© ACS Consulting **a0**

This drawing has been produced as a result of the survey data provided to ACS by the client. ACS does not warrant the accuracy of the data provided to ACS. ACS is not responsible for any errors or omissions in this drawing. ACS is not responsible for any damage or loss resulting from the use of this drawing. ACS is not responsible for any third party claims against ACS. ACS is not responsible for any third party claims against ACS. ACS is not responsible for any third party claims against ACS.

Arboricultural Legend

- INDIVIDUAL TREE RETAINED
- INDICATIVE EXTENT OF GROUPED FEATURE RETAINED
- TREES, GROUPS OR HEDGES TO BE REMOVED
- CATEGORY GRADE A Trees of high quality
- CATEGORY GRADE B Trees of moderate quality
- CATEGORY GRADE C Trees of low quality
- CATEGORY GRADE U Trees unsuitable for retention
- CATEGORY GRADE A Group/Hedge of high quality
- CATEGORY GRADE B Group/Hedge of moderate quality
- CATEGORY GRADE C Group/Hedge of low quality
- CATEGORY GRADE U Group/Hedge unsuitable for retention
- ROOT PROTECTION AREAS (RPA)
- TREE PROTECTION FENCING
- Tree subject to TPO
- Ancient Woodland
- Shade arc (BS5837)
- SITE BOUNDARY
- OFF-SITE TREES AS RECORDED ON TOPOGRAPHICAL SURVEY

TREE CANOPIES
Tree canopies have been measured and plotted at their cardinal points for clarity and presentation purposes.

ROOT PROTECTION AREA (RPA)
Root Protection Areas are calculated in accordance with BS5837:2012. The Root Protection Area (RPA) is a layout design tool indicating the minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability and where protection of the roots and soil structure is to be treated as a priority. (Refer to main report for further details).

General Notes

- The arboricultural survey is based on the supplied OS/Topographical survey. This may contain inaccurate information.
- The accuracy of the tree feature location cannot be guaranteed.
- All arrows on steps / ramps etc indicate an UP direction unless otherwise stated.
- Contours are shown on soft detail areas only (where applicable) and annotated at the interval identified above. Hard detail areas may be contoured if specifically requested.
- Site traffic or obstructions encountered at the time of the survey may have resulted in arborescent features being omitted.

Rev	Date	Description	CAD

Tree Protection Plan

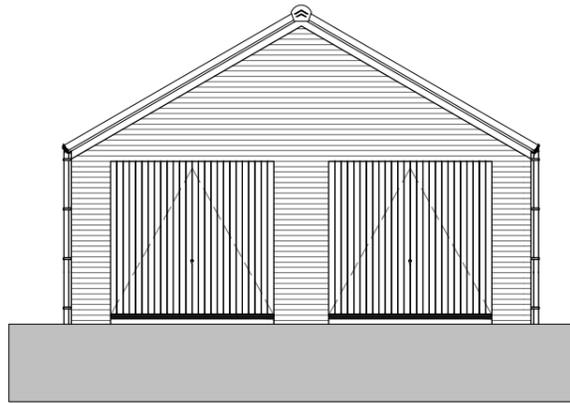
Allesley Hotel
Allesley

Plotted Scale: A0@1:200
1st Survey Date: 7/2024

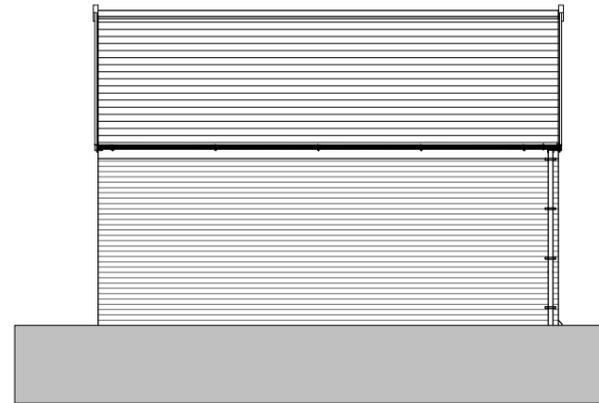
Surveyor: IRM	CAD: SPT	Checker: IRM	Rev:
Date of Issue: Oct 2024	ACS Ref No: TPI/5180/Y300		

ACS Consulting
Buxton Park
Cheshire Road
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01565 755422
enquiries@acsconsulting.co.uk

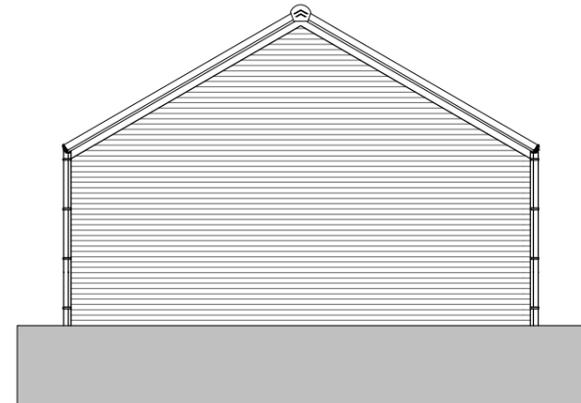
ACS Consulting
212 Main Street
Glossop
01457 453133
enquiries@acsconsulting.co.uk



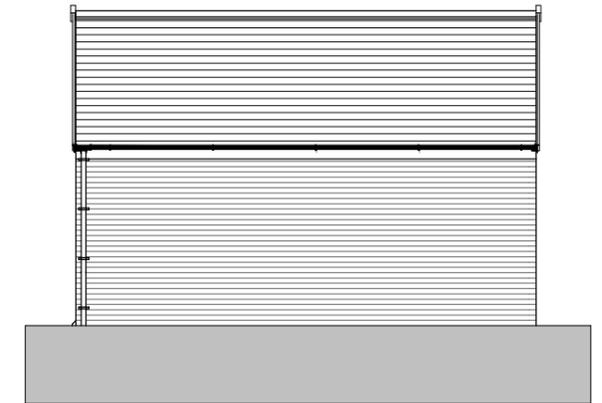
Front Elevation.
1 : 100



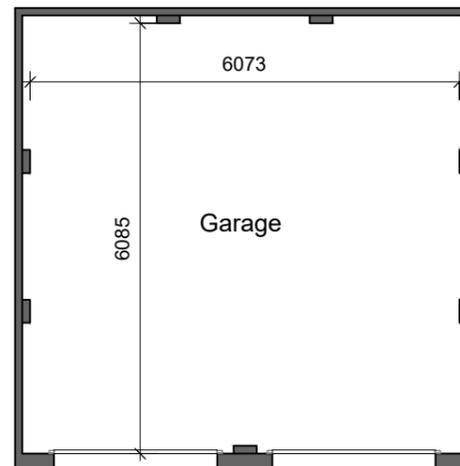
Left Elevation.
1 : 100



Rear Elevation.
1 : 100



Right Elevation.
1 : 100



Ground Floor Plan
1 : 100

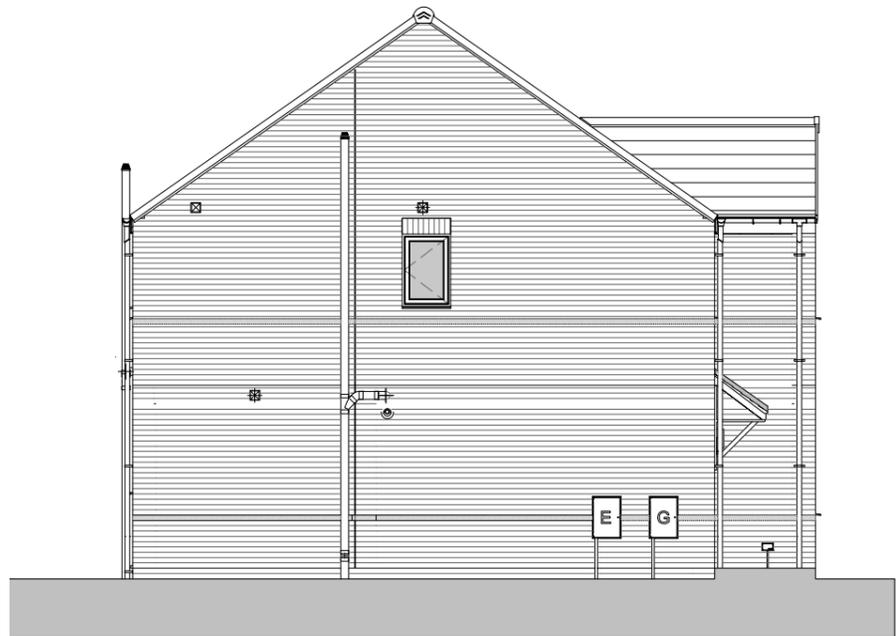
REV	DATE	BY	AMENDMENTS
A	10/10/2022	TS	First Issue
AVANT homes			
AV22 SPECIFICATION			
PLANNING			
Area:		0 m ² / 0 sq.ft.	
DATE:	SCALE @ A3:	DRAWN BY:	
10/10/2022	1 : 100	TS	
DWG TITLE: Planning Drawings			
HOUSE TYPE: Garage - Double - Gable Front			
COINS REFERENCE: GgeDD			
DRWG No: 501/006			REV: A

06/06/2023 15:29:57

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



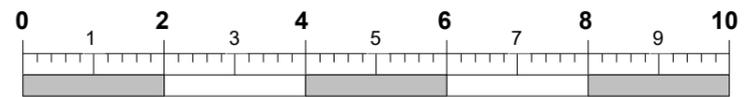
Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Right Side Elevation
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Eaves and ridge height now shown correctly
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

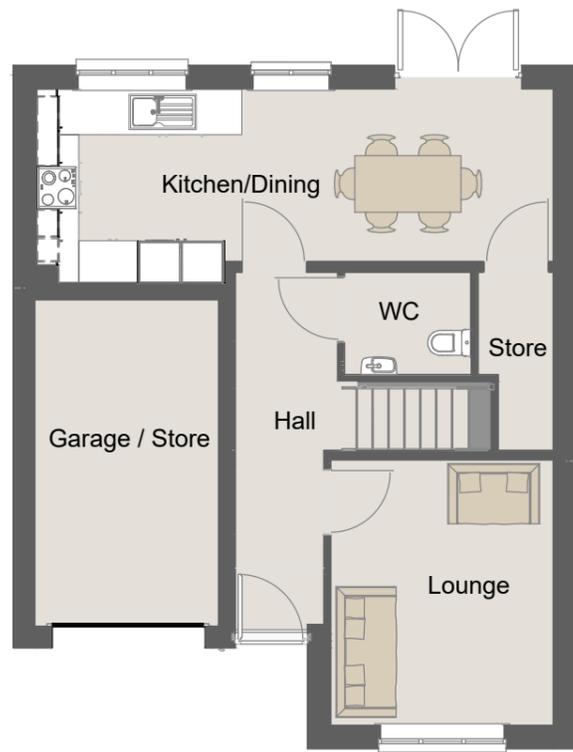
DATE: 19/05/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

DWG TITLE: Planning Sheet - Elevations - Traditional Brick

HOUSE TYPE: Wentbridge - Det

COINS REFERENCE:

DRWG No: WEN/0-002 REV: B



Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Stairwell offset 3900 from front elevation & width amended to 1045mm. Lounge increased 34mm in length. Bedroom 2 increased 34mm in length. Bath SVP relocated to allow improved connection to WC.
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

DATE: 19/05/2023 SCALE @ A3: 1 : 100 DRAWN BY: GROUP

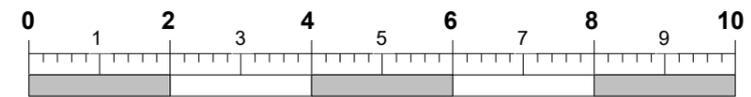
DWG TITLE: Planning Sheet - Floor Plans

HOUSE TYPE: Wentbridge - Det

COINS REFERENCE:

DRWG No: WEN/0-001

REV: B



Scale Bar @ 1:100
(m)

Planning Committee Report	
Planning Ref:	PL/2025/0000037/FULM
Site:	Land at Algate Close Coventry, CV6 4NB
Ward:	Holbrooks
Proposal:	Erection of 9no dwellings (Use Class C3) and associated works
Case Officer:	Emma Spandley

INTRODUCTION

An application was approved in 2008 by Planning Committee for 12 houses under Cov Ref.53159, however, this application has expired and was not implemented and therefore the current application is assessed against the policies that are relevant today contained within the Coventry Local Plan 2017 and the emerging Coventry Local Plan; the NPPF and NPPG and adopted Supplementary Planning Guidance / Documents (SPG / SPD).

On submission the application proposed 12no houses, however, the subsequent layout was not considered acceptable now due to the change in policies relating to off road parking. The resultant residential environment was very vehicle orientated, and therefore hard standing dominated. The application was subsequently amended which reduced the number of houses to nine. This enabled the layout to provide more informal green space alongside all other requirements.

RECOMMENDATION

Planning Committee are recommended to grant planning permission subject to conditions.

REASON FOR DECISION

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety, ecology, flooding, drainage or infrastructure and will provide a satisfactory residential environment, subject to relevant conditions.

SITE DESCRIPTION

The site is a rectangular piece of land measuring 64m x 55m. It is located to the south and rear of existing dwellings fronting Parkgate Road, east of more recent detached dwellings forming Algate Close, west of a supermarket within the Holbrook Lane local centre and north of a private sports ground.

The site until recently (mid 2023) was covered by overgrown vegetation, with mainly poor-quality boundary trees and grass elsewhere. Palisade fencing separates the site from the sports pitch and close boarded fencing is situated beyond the boundary vegetation to the rear of the houses which front Parkgate Road.

The site is relatively flat although the ground does slope upwards towards Parkgate Road. There is also a known culvert to the southern boundary of the site, which runs east to west.

APPLICATION PROPOSAL

The original application as submitted sought permission for the erection of 12no, 3no bedroomed dwellings accessed via Algate Close.

After negotiations, the proposal has been reduced to 9no dwellings. There will be 3 sets of semi-detached dwellings all with 3 bedrooms and 3 detached dwellings with 4 bedrooms.

Six of the houses proposed will be three bedroomed semi-detached with three of the houses being four bedroomed detached. All the properties will be in accordance with the Nationally Described Space Standards (NDSS); have the required amount of outside amenity space and two car parking spaces each. The overall site also provides two visitor spaces.

The houses proposed all meet or exceed the required separation distances to the existing houses, and the culvert to the south of the site is left within open space managed by a management company.

Noise assessments have been submitted which illustrate how the properties meet the required guidelines.

RELEVANT PLANNING HISTORY

Application Number	Description of Development	Decision and Date
R/2005/7986 (Cov Ref. 53159)	Erection of 12 dwellings and landscaped area.	APPROVED 16th May 2008 – expired, not implemented.
PL/2023/0001672/LDCE	Application for a Lawful Development Certificate for existing building works commenced on site in connection with approval reference 53159 for the erection of 12no. dwellings and landscaped area	REFUSED 20th November 2023.

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs

Policy DS3: Sustainable Development Policy

Policy DS4: (Part A) – General Masterplan Principles

Policy H3: Provision of New Housing

Policy H4: Securing a Mix of Housing
Policy H9: Residential Density
Policy GE1 Green Infrastructure
Policy GE2: Green Space
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM3 Renewable Energy Generation
Policy EM5 Sustainable Drainage Systems (SuDS)
Policy EM6: Redevelopment of Previously Developed Land

Emerging Local Policy Guidance – Local Plan Review submitted to Planning Inspectorate for examination on 9th September 2025

Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

Policy DS1: Overall Development Needs
Policy DS3: Sustainable Development Policy
Policy DS4: (Part A) – General Masterplan Principles
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing
Policy H9: Residential Density
Policy GB3: Local Green Space
Policy GE3: Biodiversity, Geological, and Landscape Conservation
Policy GE4: Tree Protection
Policy DE1: Ensuring High Quality Design
Policy DE2: Delivering High Quality Places
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Active Transport Provision including Walking, Cycling and Micro Mobility
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM4: Flood Risk Management
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM6: Redevelopment of Previously Developed Land
Policy EM11: Energy Infrastructure
Policy EM13: Overheating in new buildings
Policy EM15: Noise

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Design Guidelines for New Residential Development
SPD Delivering a More Sustainable City

CONSULTATION

No objections subject to conditions/contributions have been received from:

- Ecology
- Environmental Protection
- Local Highway Authority
- Urban Design

Neighbour consultation

Immediate neighbours and local councillors have been notified; a site notice was posted on 10th April 2025.

7no letters of objection have been received, raising the following material planning considerations:

- a) Impact on Highway Safety
- b) Access for emergency services
- c) Pollution from the building work
- d) Overdevelopment
- e) Impact on parking
- f) Impact on local services
- g) Loss of green space
- h) Impact on ecology / wildlife
- i) Flooding issues
- j) Disruption during construction

After negotiations with the applicant, the proposals have been reduced to 9no houses, instead of the original 12no houses. Further consultation was undertaken which attracted 3no objections raising the following additional material planning considerations:

- k) Increased noise
- l) Impact on air quality
- m) Loss of privacy

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- n) Property values
- o) Fly Tipping
- p) Existing indiscriminate parking
- q) Inaccurate application address.

With regards to these representations, 6no were received from addresses within Algate Close, with the location of 1no unknown as it did not contain the objector's address.

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are the principle of development, highway considerations, impact on the character and appearance of the area, impact on existing residential amenity, impact on proposed residential amenity, noise, ecology/biodiversity, flood risk & drainage, contaminated land and air quality.

The relevant policy text(s) for each issue are included in the Policy Appendix at the end of the report.

Principle of development

Principle of the loss of the Green Space

A number of objections have been received which centre on the loss of this area for open space. The site is private land which has no public access over it. Therefore, this area is not included as a green space within the Green Space Standards (GSS). If members of the public have been accessing the site, they have in effect been trespassing upon it.

Whilst the site may offer some visual amenity benefit to neighbouring residents, this benefit is limited. The loss of this area is accepted and in accordance with Policy GE2 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025, the NPPF and NPPG.

Principle of Residential

An application was approved in 2008 by Planning Committee for 12 houses; however, this application has expired and was not implemented. Therefore, the current application is assessed against the Coventry Local Plan adopted in December 2017.

The proposal would be compatible with existing nearby uses and has reasonably convenient access to local facilities. Furthermore, it is considered that the scheme would create a high-quality residential environment for future occupiers and therefore the proposed development would be in accordance with these aspects of Policy H3 of the Coventry Local Plan thus far.

Creating sustainable communities and therefore sustainable developments requires the proposals to also include safe and appropriate access have adequate amenity space and parking provision and be safe from environmental pollutants such as land contamination, excessive noise and air quality issues.

These issues are discussed in further below.

Highway Considerations

Access

As originally submitted the Local Highway Authority (LHA) objected to the proposal due to the transition between the existing road and the development street being unacceptable. Over the course of the application several amendments have been tabled which has seen the scheme reduce from 12no dwellings to nine dwellings.

The revised Site Layout - Drawing No.1611-PA 08 Rev D, shows a suitable transition with a turning head into the site which will enable a refuse vehicle to enter the site, turn around and be able to leave in a forward gear.

A Road Safety Audit has also been submitted which has been agreed upon; however, the site is remaining private just the turning head constructed to an adoptable standard to be able to take the weight of the refuse vehicle and fire tender.

The Local Highway Authority (LHA) raises no objection to the proposed access.

Layout

The road serving the dwellings will remain private. For a private road of this nature to be acceptable to enable a refuse vehicle to serve the properties, it must be designed to adoptable standards and be capable of supporting a 26T refuse freighter (and by association a fire appliance in the range of 18-20T). This would allow the Council's Waste Service vehicles to enter the site, by agreement with the developer.

The revised site layout drawing shows a suitable transition with a turning head into the site which will enable a refuse vehicle to enter the site, turn around and be able to leave in a forward gear.

The Local Highway Authority (LHA) raises no objection to the proposed layout, subject to conditions securing the engineering and construction details of the proposed turning head.

Parking

The application as amended proposes 9no, properties which all require two dedicated parking spaces per plot and 2no visitor parking spaces.

The revised site layout drawing shows two car parking spaces per property, and as amended now shows two visitor spaces.

The Local Highway Authority (LHA) raises no objection to the quantum and location of the parking spaces.

It is considered that the proposal will provide safe and appropriate access, a suitable layout and the quantum of parking in accordance with Policy H3, Policy AC2 and Policy AC3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025.

Impact on the character and appearance of the area

As originally submitted, there were issues with the design of the site. The parking spaces for Plot No.1 were considered to be too remote from the plot, and too many parking spaces were proposed in a row without any breaks creating a visually jarring form of development.

As shown on revised site layout drawing, the site has lost 3no properties which has enabled the semi-detached properties to have tandem parking to the side (apart from Plot No.1, which has the parking to the front), and the detached properties have their parking to the front. This has enabled significantly more soft landscaping to be shown within the

public area and together with tree planting it will help assimilate the estate within the area. The details of which will be secured by condition.

The house types are modest, with a small double fronted apex with the brick work to be red multi wirecut brick similar to the surrounding area with grey roof tiles. The house type design is considered acceptable and will not cause harm to the character or appearance of the locality in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025.

Bin storage

The maximum bin dragging distance is 25m to the Bin Collection Point. As originally submitted the nearest Bin Collection Point will be the nearest adopted carriageway, which is to the west of the red line site boundary, outside No.23 Algate Close.

After conversations with the Local Highway Authority, the proposal was amended which showed a large enough turning head that could accommodate a Coventry City Council refuse vehicle to enter the site, collect the bins, turn around and leave the site within a forward gear.

As mentioned above for a private road to be acceptable to enable the bin truck to serve the properties, it must be designed to adoptable standards and be capable of supporting a 26T refuse freighter (and by association a fire appliance in the range of 18-20T).

This would allow the Council's Waste Service vehicles to enter the site, by agreement with the developer.

Cycle Storage

Cycle storage is not shown on the plans, but a suitably worded condition can be added which requires the details of the cycle storage to be submitted and approved prior to occupation of the dwellings, as there is sufficient space within the rear gardens to accommodate this request.

Impact on existing residential amenity

Properties at No.65-83 (odds) Parkgate Road are to the north of the site. There is an existing entryway to the rear of these properties that serves as a vehicular access. This separates the site from the rear gardens of the aforementioned properties. The distance from the rear of these properties is in excess of 20m.

The amended proposed site layout has Plots No.1 – 7, with their rear gardens backing onto No.65 – No.83 (odd) Parkgate Road. Plot No.1 & No.2 have rear gardens of 12m; Plots No.3 – No.7 (inclusive) have rear gardens of 11m, therefore the resulting back-to-back separation distance from No.65 – No.83 (odd) Parkgate Road to Plots No.1 – No.7 is in excess of 30m and therefore is greater than the minimum requirement of 20m.

The next nearest properties are to the west of the application site, No.17 & No.19 Algate Close, have their gardens backing onto the site, with No.23 side onto the application site. Plot No.1 is the nearest property to the existing houses located within Algate Close. No.17 Algate Close is backs onto the side fence of Plot No.1 towards the top of the garden, therefore there are no building directly behind this house.

No.19 Algate Close has a rear elevation which faces the side of Plot No.1. No.19 has an existing 11m deep rear garden. Plot No.1 is set 3.6m off this shared boundary making the rear to side separation distance 14.6m which is greater than the minimum 12m that is required. It is also noted that Plot No.1 only has a small obscured glazed window serving a bathroom within this side facing elevation.

No.23 Algate Close sits fronting onto the existing turning ahead which will be used to connect to the proposed development. As amended the two car parking spaces for Plot No.1 are set towards the rear of the house adjacent to the shared side boundary, with Plot No.1 being set 7.4m off the shared boundary at a distance of 9.1m away. This relationship is similar to the previous approval and is considered an acceptable compromise in retaining privacy to each property.

Impact on proposed residential amenity

Private amenity space

As amended the site now provides the required gardens, as set out below.

<u>Plot</u>	<u>No of Bedrooms</u>	<u>Garden Size required (sqm) (Min)</u>	<u>Garden Size (sqm)</u>
Plot No.1	3	65	143
Plot No.2	3	65	104
Plot No.3	3	65	100
Plot No.4	3	65	94
Plot No.5	3	65	96
Plot No.6	3	65	94
Plot No.7	4	85	179
Plot No.8	4	70 - 85	112
Plot No.9	4	70 - 85	166

Space Standards

Plots No.1 – No.6 are to be three bedroomed. With two double bedrooms and one single bedroom. Therefore, the property can accommodate five persons (3B5P). The property is required to be 93sqm gross internal floor area with 2.5sqm of built in storage and are proposed to be 93sqm with a utility area and airing cupboard as the 2.5sqm of built in storage.

Plots No.7 – No.9 are to be four bedroomed. With four double bedrooms. Therefore, the property can accommodate eight persons (4B8P). The property is required to be 124sqm with a utility area and airing cupboard as the 2.5sqm of built in storage and are proposed to be 124.74sqm with a utility area and airing cupboard as the 2.5sqm of built in storage.

The houses therefore in accordance with NDSS; Policy H3 of the Coventry Local Plan and the emerging Local Plan and the Supplementary Planning Documents (SPD)

Noise

On submission a noise report was submitted, however it had no specific assessment of delivery noise and the impact this would have had on the proposed houses. A subsequent noise report was submitted, however, the noise report still only addressed the noise

impact using BS8233. This was incorrect. The noise report was required to use BS4142 'Method for Rating and Assessing Industrial and Commercial Sound'.

Subsequently further revisions to the noise report were submitted and also found to be deficient. Further discussions and revised noise surveys were submitted which were still inadequate, the request for survey to use BS4142 was therefore reiterated. The contents of which is required to include a specific survey on the number and hours of deliveries to the service yard; to help to determine the L_{Amax} level.

An updated noise survey was submitted, Noise Assessment Update, dated 22nd December 2025 - Report Ref.Rev3, on 5th January 2026. The adjacent service yard was in full operation during the additional survey contained within the noise survey. This report shows the main noise sources adjacent to the site are the activities taking place in the Morrisons service yard such as deliveries, pallets handling with forklifts with the general background noise being identified as road traffic from the surrounding roads as well as noise from the nearby primary school.

The noise report shows that the internal noise criteria can be achieved with double glazing and trickle vents. With regards to the garden area for Plot No.7 the noise report shows a level of 50dB can be achieved which is fully compliant with guidance. Notwithstanding the above, to minimise the noise levels from the Morrisons service yard further a 2.4m high close board fence is proposed along the eastern boundary adjacent to Plot No.7. This will offer a noise reduction of a 10dBA, which means the daytime noise levels in the garden will be approximately 40-45dBA.

The findings of this report are accepted subject to a condition requiring the noise mitigation measures stated in the report to be implemented prior to occupation. The application is considered to be acceptable; will provide for a suitable standard of accommodation and a satisfactory residential environment.

Ecology/Biodiversity

The application was supported by a Biodiversity Net Gain (BNG) Assessment, however further information was required regarding the BNG metric and Preliminary Ecological Appraisal (PEA), which were both missing. Subsequently a BNG metric and revised Ecological Impact Assessment were submitted which included the required PEA.

Based on the submitted information, Ecology do not raise any objections to the application, subject to the imposition of conditions which required bat and bird boxes; hedgehog mitigation and a condition requiring the details of the street lighting to ensure they are bat sensitive.

Flood Risk and Drainage

Due to the constraints of the site, the site will not include a SuDs feature within the site, the site will be drained by underground storage which is located within the informal area to the front of the site.

A culvert is located to the south of the site. This will require a separate agreement by the applicant to be able to build over this culvert, this is controlled by other legislation outside of the planning process.

On submission Plot No.9 was shown as to have their garden area within the culvert area, this was considered unacceptable from a liability and maintenance point of view. This area was required to be located within the general area managed and maintained by a management company and not conveyed to the plot. The amended layout shows this to now be an acceptable arrangement.

Contaminated land

The application was supported by a Geo Technical and Geo Environmental Desk Study Report, in which it is stated that 'Given the past usage of the site, the potential type of contamination includes heavy metals. It is therefore recommended that a Phase 2 site investigation is undertaken prior to commencement on site'. This can be controlled by suitable worded conditions.

On this basis, Environmental Protection raise no objections to the application.

Air quality

Environmental Health have raised no objections subject to a conditioning requiring the following: -

- Any gas boilers installed must have a maximum dry NOx emissions rate of 40mg/kWh
- Provision of at least one electric vehicle recharging point per property.
- A method statement detailing the control of emissions to air during the construction phase should be submitted to and approved in writing by the Local Planning Authority prior to the commencement of works. Such a method statement should be in-line with the Best Practice Guidance entitled 'The control of dust and emissions from construction and demolition'.

These can be ensured through suitably worded conditions.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposal seeks as amended to erect 9no houses.

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety, ecology, flooding, drainage or infrastructure and will provides a satisfactory residential environment., subject to relevant conditions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies: DS3, DS4 (Part A), H3, H4, H9, GE1, GE2, GE3, DE1, AC1. AC2. AC3, AC4, EM5 and EM6 of the Coventry Local Plan 2017 and Policies: DS3, DS4 (Part A), H3, H4, H9, GB3, GE1, GE2, GE3, DE1, DE2, AC1, AC2, AC3, AC4, EM5, EM6 and EM15 of the emerging Local Plan, together with the aims of the NPPF.

POLICY APPENDIX

National Planning Policy Framework (NPPF) December 2024.

Coventry Local Plan 2017 & Emerging Local Policy

Supplementary Planning Guidance/ Documents (SPG/ SPD):

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Policy Background

The Coventry Local Plan was adopted in December 2017 and, as such, is now more than five years old. Consequently, until the Local Plan Review is complete and has been approved by an Inspector appointed by the Secretary of State, the housing requirement established at the time of the Local Plan's adoption in December 2017 is out of date. Instead, Coventry's minimum annual housing need must be calculated using the Government's standard method calculation.

The Council is able to demonstrate a 5.91- year housing land supply as published in the Authority Monitoring Report 2024/25 published December 2025. Due to the council being able to demonstrate a five-year Housing Land Supply (HLS) the tilted balance is not engaged.

Principle of development

The NPPF 2024, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date , granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites (with the appropriate buffer set out in paragraph 78).

Principle of the loss of the Green Space

Policy GE1 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states the council will protect green infrastructure based on an analysis of existing assets and requires development to maintain the quantity, quality and functionality of existing green infrastructure.

Policy GE2 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states development involving the loss of green space that is of value for amenity, recreation, outdoor sports and/or community use will not be permitted and then there is a list of exceptions where it may be permitted.

Principle of Residential

Policy H3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment.

Highway Considerations

Policy H3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025, as mentioned above, requires, amongst other items, to provide safe and appropriate access.

Policy AC2 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states new development proposals which are predicted to have a negative impact on the capacity and/or safety of the highway network should mitigate and manage the traffic growth which they are predicted to generate to ensure that they do not cause unacceptable levels of traffic congestion, highway safety problems and poor air quality.

Parking

Policy AC3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5 (Appendix 6).

Impact on the character and appearance of the area

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Paragraph 131 of the NPPF states the creation of high-quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

The National Planning Policy Framework, paragraph 135 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 139) “Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”.

Principle 8 of the Design Guidance for New Residential Development SPD states that “new residential development will be expected to respond to the size, shape and rhythm of surrounding plot layouts”.

Paragraph 6.17 of the Design Guidance for New Residential Development SPD states that “space to park cars can place a significant burden on the design of residential layouts. Balancing the expectations of residents and visitors for adequate parking spaces near to properties with the need to ensure parking does not unduly impact on the street scene and safety and amenity of people is a key consideration”.

Principle 9 of the Design Guidance for New Residential Development SPD states that, “Parking layouts should be high quality and designed to:

- Reflect the strong urban fabric and Ancient Arden identity of the city. All parking arrangements should be softened with generous soft landscaping and no design should group more than 3 linear parking spaces together, without intervening landscaping.
- Ensure developments are not functionally and visually dominated by cars;
- Maintain activity in the street without adversely affecting the attractiveness of the streetscene;
- Minimise impact on the amenity of residents;
- Unobstructed and inclusive access to front and rear of a property by 1.2m to provide futureproofing for all users
- Be safe, overlooked and convenient for users; and
- Be spaces that are visually and functionally attractive in the street scene”.

Paragraph 6.26 of the ‘Design Guidance for New Residential Development SPD’ sets out that the Council’s preference is for parking to be to the side or rear where adverse impacts on the street scene and amenities can be more effectively managed. Where parking has to be provided to the front it is important that the visual impacts are mitigated as far as possible. Potential solutions include landscaping, staggered buildings, separation and use of boundary treatments. It is also important that buildings are set back far enough from the road to enable cars to be comfortably parked in front. Enclosure of front on plot parking areas with vegetation will be strongly encouraged.

Principle 10 of the Design Guidance for New Residential Development SPD states: “On-plot parking should not be dominated by excessive frontage parking arrangements. Where front of plot parking is proposed this should be enclosed with soft landscaping and not dominate the appearance of the plot or the street scene with extensive hard surfacing or multiple or over wide vehicle cross overs”.

Bin storage

Paragraph 9.11 of the Design Guidance for New Residential Development SPD states “It is important that the waste storage requirements are handled in purpose-built spaces that are sufficient in size, easily accessible and which do not generate offensive smells or negatively impact on a street scene’s character and quality”.

Paragraph 9.12 of the Design Guidance for New Residential Development SPD states: “the Council’s strong preference is for refuse storage areas to be located to the rear or side of dwellings where they are invisible in the public realm”.

Cycle Storage

Paragraph 9.15 of the Design Guidance for New Residential Development SPD states: “Cycle storage facilities should be easily accessible to occupiers and wherever possible, be integral to the design of the residential development. Where external cycle facilities are provided, they should be constructed of durable materials, relate to the design of the main residential building, be easily accessible and not have a detrimental impact on the street scene”.

Impact on existing residential amenity

Policy DS3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 is concerned with creating sustainable development, sustainable development is meeting the needs of the present without compromising the ability of future generations to meet their own needs, Policy H3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states that new development must provide a high-quality residential environment.

All built form is assessed against Policy DE1 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 and the Design Guidance for New Residential Development SPD and Householder Design Guide SPD.

Principle 1 of the Householder Design Guide SPD states “extensions should not result in a material loss of amenity to neighbouring properties as a result of overshadowing, loss of outlook, visual intrusion, eroding privacy or being overbearing”.

Principle 3 of the Householder Design Guide SPD states:

- “Where a neighbouring dwellinghouse has a side facing window which provides the primary source of light and / or outlook to a habitable room (e.g. kitchen, living room, bedroom), a side extension which adversely impacts on such a window would not normally be acceptable. (Using the 25-degree rule below can help assess acceptability)
- Where the side of a dwellinghouse is at a right-angle to the front or rear of an adjoining dwellinghouse a minimum distance of 12m should be retained between the side of your extension and the front or rear of the neighbouring dwellinghouse.

This distance may need to be increased if the ground level of your property is elevated in relation to your neighbours”.

Principle 5 of the Householder Design Guide SPD states: “For two storey rear extensions the following principles should be followed:

- The depth of the extension should not exceed an imaginary 45-degree line taken from the centre of the neighbour’s closest habitable rear facing window (ground or first floor)
- A minimum rear to rear windows distance of at least 20m should be retained
- A minimum distance of at least 10m should usually be retained between first floor windows and the rear site boundary
- Any side facing windows above ground level should be obscure glazed to prevent overlooking”.

Impact on proposed residential amenity

Policy DS3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 is concerned with creating sustainable development, sustainable development is meeting the needs of the present without compromising the ability of future generations to meet their own needs, Policy H3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states that new development must provide a high-quality residential environment. A suitable residential environment includes amongst other requirements, adequate amenity space. Emerging Policy DE2 requires all new houses to be Nationally Described Space Standards (NDSS).

The Design Guidance for New Residential Development SPD sets out guidance and principles on how development should come forward in accordance with.

Private Amenity Space

The Design Guidance for New Residential Development SPD, at Section 8.20 states: “The minimum amount may vary depending on the context of the house. Homes with private amenity spaces facing predominantly north may need to provide larger private gardens than those facing the sun with a predominantly southern orientation”.

House Size	Minimum standard/unit for outdoor amenity spaces facing predominantly south (sqm)	Minimum standard/unit for outdoor amenity spaces facing predominantly north (sqm)
1 bed	40	50
2/3 beds	55	65
4+ beds	70	85

Space Standards

The Design Guidance for New Residential Development SPD, at Principle 19 states new dwellings must be of Nationally Described Space Standards (NDSS).

Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

Noise

Policy DS3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 is concerned with creating sustainable development, sustainable development is meeting the needs of the present without compromising the ability of future generations to meet their own needs, Policy H3 of the Coventry Local Plan 2017 and the emerging Coventry Local Plan 2025 states that new development must provide a high-quality residential environment. A suitable residential environment includes amongst other requirements free from excessive noise.

Emerging Policy EM15 states Proposals for uses which are sensitive to noise will not be permitted close to existing or proposed potentially noise polluting uses unless it can be demonstrated that adequate mitigation measures can be provided to ensure adequate levels of amenity can be provided for future occupiers and the existing potentially noise polluting uses will not be prejudiced by the development proposed. Furthermore, development will not be permitted if mitigation cannot be provided to an appropriate standard with an acceptable design.

Ecology/Biodiversity

Policy GE3 of the Coventry Local Plan and the emerging Coventry Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced. Policy GE3 establishes that developments should provide a net gain and where this is not possible provide some form of offsetting.

Flood Risk & drainage

Paragraph 162 of the NPPF states plans should take a proactive approach to mitigating and adapting to climate change, taking into account the long-term implications for flood

risk, coastal change, water supply, biodiversity and landscapes, and the risk of overheating and drought from rising temperatures.

Paragraph 164 of the NPPF states new development should be planned for in ways that:

- a) avoid increased vulnerability to the range of impacts arising from climate change. When new development is brought forward in areas which are vulnerable, care should be taken to ensure that risks can be managed through suitable adaptation measures, including through incorporating green infrastructure and sustainable drainage systems.

Paragraph 170 of the NPPF states 'Inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future). Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.

Paragraph 171 of the NPPF states "Strategic policies should be informed by a strategic flood risk assessment and should manage flood risk from all sources. They should consider cumulative impacts in, or affecting, local areas susceptible to flooding, and take account of advice from the Environment Agency and other relevant flood risk management authorities, such as lead local flood authorities and internal drainage boards

Policy EM5 of the Coventry Local Plan and the emerging Coventry Local Plan 2025 states all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

Contaminated land

Policy EM6 seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of waste water by whatever means.

Air quality

Policy EM7 states that major development schemes should promote a shift to the use of sustainable low emission transport to minimise the impact of vehicle emissions on air quality.

CONDITIONS / REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason:	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The development hereby permitted shall be carried out in accordance with the following approved plans:

	<ul style="list-style-type: none"> • AMENDED DRAWING - Site Location Plan, as submitted 28th March 2025 • AMENDED DRAWING - Site Layout - Drawing No.1611-PA 08 Rev D • DRAWING - Boundary Treatments - Drawing No.1611-PA 21 • AMENDED DRAWING - Floor Plans and Front Elevations - Plots 1-9 - Drawing No.1611-PA 09 Rev A • AMENDED REPORT - Noise Assessment Update, dated 22nd December 2025 - Report Ref. Rev3
Reason:	<i>For the avoidance of doubt and in the interests of proper planning.</i>
3.	<p>An investigation and risk assessment (in addition to any assessment provided with the planning application), must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site; whether or not it originates on the site; and any report of the findings must be submitted to and approved in writing by the local planning authority prior to the commencement of development (including any demolition). The report of the findings, to be conducted in accordance with Environment Agency Guidance Land Contamination: Risk Management (2021) and must include (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments; (iii) an appraisal of remedial options and proposal of the preferred option(s)</p>
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF</i>
4.	<p>The development shall only be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment, which shall be submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.</p>
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF</i>

5.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF</i>
6.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme approved under condition No. 4 a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF</i>
7.	In the event that contamination is found at any time when carrying out the approved development, that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition No.3, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition No.4, which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition No.6.
Reason:	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF</i>
8.	No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry

	<p>mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to control the presence of asbestos; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>
Reason:	<p><i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies [EM7], AC1 and AC2 of the Coventry Local Plan 2017 and the emerging Local Plan.</i></p>
9.	<p>Prior to their incorporation into the development hereby permitted, sample details of all facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i></p>
10.	<p>Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include full details of the footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the dwelling(s) hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.</p>

Reason:	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
11.	Prior to the first occupation of the development hereby permitted, details of bin storage areas shall be submitted to and approved in writing by the Local Planning Authority. The bin storage areas shall be provided in full accordance with the approved details prior to first occupation of the development and thereafter they shall remain available for use at all times and shall not be removed or altered in any way.
Reason:	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
12.	Prior to occupation of the dwelling(s) hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation of the building and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason:	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2017 and the emerging Local Plan.</i>
13.	Prior to the first occupation of the development hereby permitted, details of general ecological habitat enhancement measures and hedgehog mitigation measures shall be submitted to and approved in writing by the Local Planning Authority. Such measures shall include; retention and management of boundary vegetation, and hedgehog friendly boundary fencing and gates. The habitat enhancement measures shall be undertaken in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason:	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017, the emerging Local Plan and the advice contained within the NPPF.</i>
14.	Prior to the first occupation of the development hereby permitted details of the location and type of bird and bat boxes shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a minimum of 8 bird boxes and 4 bat boxes to be installed on mature trees around the site boundaries or on the / incorporated into the fabric of the new

	<p>dwellings. Once installed they shall be retained and shall not be removed or altered in any way.</p>
Reason:	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017, the emerging Local Plan and the advice contained within the NPPF.</i></p>
15.	<p>Prior to the first occupation of the dwellings hereby permitted the mitigation measures as set out within:</p> <ul style="list-style-type: none"> • Table 5.2 of AMENDED REPORT - Noise Assessment Update, dated 22nd December 2025 - Report Ref.Rev3, namely: <ul style="list-style-type: none"> ○ External Wall - Traditional masonry wall (e.g. 100mm plastered brick; ○ Roof - Tiled/slate roof and plasterboard ceiling; ○ Glazing - Double glazing 6/12/4; ○ Trickle Ventilator - Basic trickle ventilator, and • Section 5.3 of AMENDED REPORT - Noise Assessment Update, dated 22nd December 2025 - Report Ref.Rev3, namely, <ul style="list-style-type: none"> ○ a 2.4m high fully solid, fence with a surface mass of at least 8 kg/m2 along the eastern boundary of the site as shown on DRAWING - Boundary Treatments - Drawing No.1611-PA 21 <p>shall have been implemented in full accordance with the recommendations of the noise assessment and thereafter shall not be removed or altered in any way.</p>
Reason:	<p><i>To protect the amenities of future occupiers from road traffic noise, the service delivery yard and general disturbance in accordance with Policy H3 of the Coventry Local Plan 2017 and the emerging Local Plan.</i></p>
16.	<p>Prior to the installation of any street lighting or any external lighting to be fixed to any building(s), an external lighting strategy (including a plan) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to restrict light spillage onto foraging corridors. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.</p>
Reason:	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2017, and the emerging Local Plan and the advice contained within the NPPF.</i></p>
17.	<p>No part of the residential accommodation hereby permitted shall be occupied unless and until the external amenity space has been laid out and</p>

	provided in full accordance with the details shown on the approved plans and thereafter shall remain available for use at all times.
Reason:	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
18.	None of the dwellings hereby permitted shall be occupied unless and until the car parking provision for that dwelling has been constructed or laid out and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all time and shall not be removed or altered in any way.
Reason:	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1,AC2 and AC3 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>
19.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. One electric vehicle recharging point per dwelling shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by residents at all times.
Reason:	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2017, the emerging Local Plan and the aims and objectives of the NPPF.</i>
20.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no gate, fence, wall or other means of enclosure shall be erected, constructed or improved or altered such as to place the structure in front of the forwardmost part of any dwellinghouses relating to Plots No.1 - No.7 and no gate, fence, wall or other means of enclosure shall be erected, constructed or improved or altered such as to place the structure to the front (north elevation) and western side elevation of the Plot No.8 and no gate, fence, wall or other means of enclosure shall be erected, constructed or improved or altered such as to place the structure to the front (south elevation) and western side elevation of Plot No.9 without the prior grant of planning permission by the Local Planning Authority.
Reason:	<i>Having regard to the open plan layout and general nature of the proposed development it is important to ensure that no development is carried out except with the permission of the Local Planning Authority, which would detract from the appearance of the area and affect the amenities of adjacent properties in accordance with Policies H3 and DE1 of the</i>

	<i>Coventry Local Plan 2017 and the emerging Local Plan.</i>
21.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no development to form hard surfaces shall be carried out within the curtilage of any dwellinghouse[S] hereby permitted without the prior grant of planning permission by the Local Planning Authority.
Reason:	<i>Having regard to the open plan layout and general nature of the proposed development it is important to ensure that no development is carried out except with the permission of the Local Planning Authority, which would detract from the appearance of the area and affect the amenities of adjacent properties in accordance with Policy DE1 of the Coventry Local Plan 2017 and the emerging Local Plan.</i>

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THIS PROJECT IS TO CONFORM TO C.D.M. REQUIREMENTS
SPECIFIC RISKS RELATING TO THIS DRAWING ARE:

283150

- H & S RISK
- WORKING AT HEIGHT, FALLS AND FALLING ITEMS
- SCAFFOLD AND WORKING PLATFORMS
- CARRY OUT EXCAVATIONS, FALLS AND COLLAPSE
- MATERIAL HANDLING, LIFTING
- MACHINERY AND PLANT OPERATIONS
- CHEMICALS USED, COSHH
- SECURE SITE AND PROTECT WORK AREAS
- FIRE RISKS ASSESSMENTS AND CONTROL
- METHOD STATEMENTS AND RISK ASSESSMENTS
- AND C.O.S.H.H ASSESSMENTS TO BE PREPARED

283100

- D Layout altered to suit Planning 18/09/25
- C Layout altered to suit Planning 12/09/25
- B Layout altered to suit Planning 21/08/25
- A Layout altered to suit Planning 30/07/25

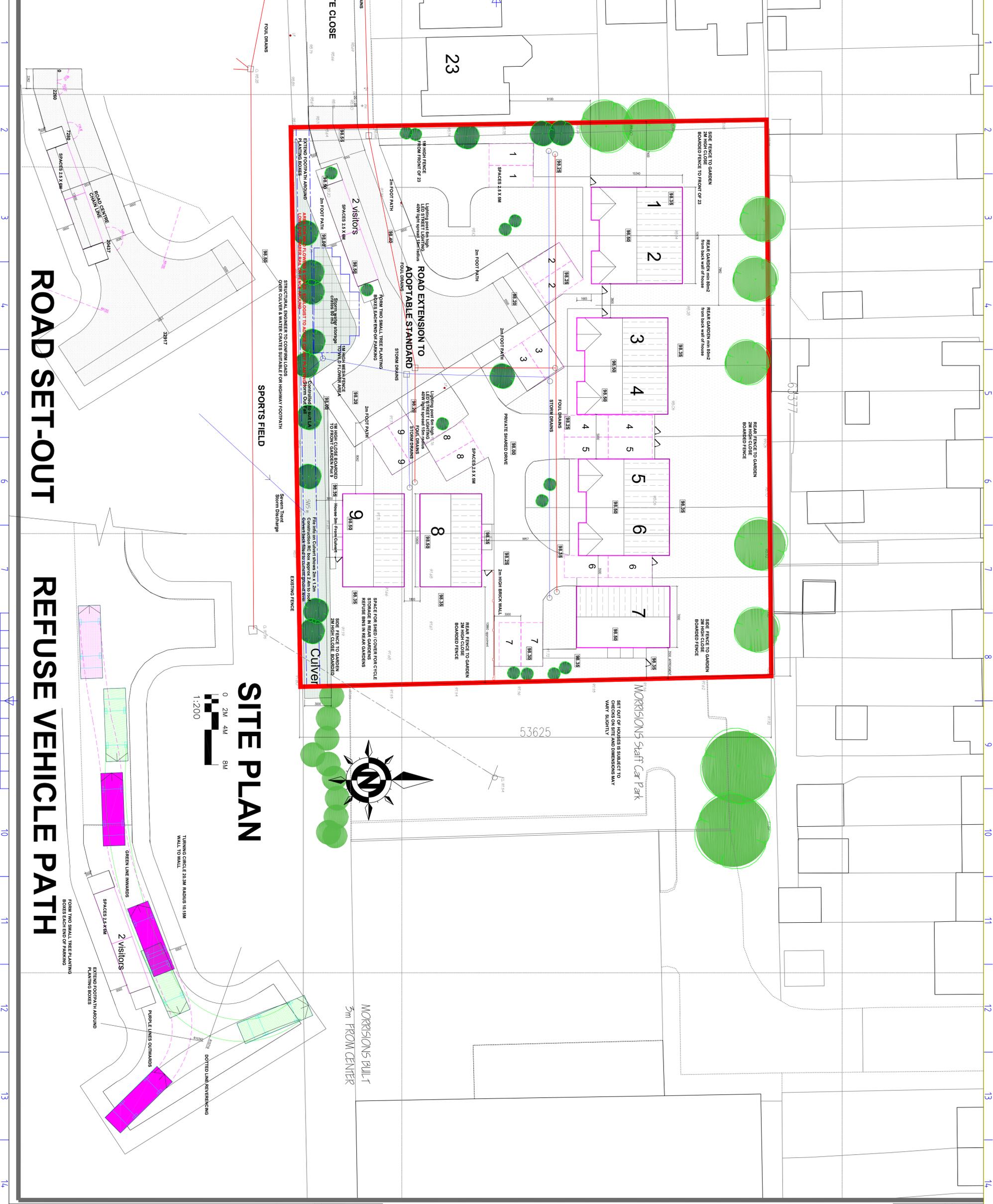
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PRACTICE AND HEALTH AND SAFETY LEGISLATION

Job Title
**ALGATE CLOSE
HOLBROOK
COVENTRY
CV6 4NB**
RESIDENTIAL DEVELOPMENT

Drawing Title
**SITE LAYOUT
REVISION TO 9 HOUSES**
Planning Drawing

John Pryce Architectural
78 Lightfoot Lane
SOUTHILL
WOLVERHAMPTON
B91 2SN
Tel: 0121 572 4078
Mob: 07973 382 084

Drawn by: JP
Checked by: j
Scale: 1/200 A1
Date: 06/2025
Job Number: 1611
Drawing Number: PA 08
Revision: D



ROAD SET-OUT

REFUSE VEHICLE PATH

SITE PLAN

0 2M 4M 8M
1:200

MORRISONS BUILT
3m FROM CENTER

MORRISONS Staff Car Park
SET OUT OF HOUSES IS SUBJECT TO
CHECKS ON SITE AND DIMENSIONS MAY
VARY SLIGHTLY

**ROAD EXTENSION TO
ADAPTABLE STANDARD**

SPORTS FIELD

TURNING CIRCLE 29.3M RADIUS IN 19M
WALL TO WALL

2 visitors

2 visitors

ROAD SET-OUT

REFUSE VEHICLE PATH

SITE PLAN

0 2M 4M 8M
1:200

MORRISONS BUILT
3m FROM CENTER

MORRISONS Staff Car Park
SET OUT OF HOUSES IS SUBJECT TO
CHECKS ON SITE AND DIMENSIONS MAY
VARY SLIGHTLY

**ROAD EXTENSION TO
ADAPTABLE STANDARD**

SPORTS FIELD

TURNING CIRCLE 29.3M RADIUS IN 19M
WALL TO WALL

2 visitors

2 visitors

CONSTRUCTION DESIGN MANAGEMENT

THIS PROJECT IS TO CONFORM TO C.D.M. REQUIREMENTS
SPECIFIC RISKS RELATING TO THIS DRAWING ARE:

Risk	Description	Classification	Action

6 no Solar Panels on each
Property generating 1.6 Kw/h

Feature brick soldier headers

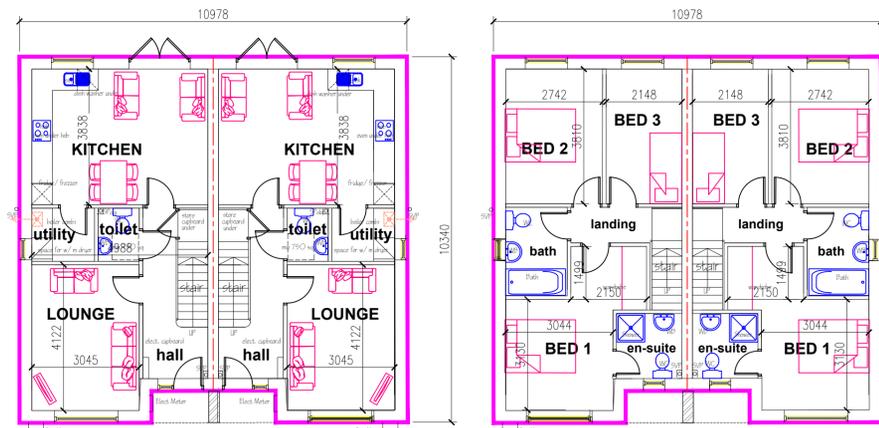
WALLS FAIR FACED BRICKWORK
ROOF GREY MODERN PLAIN CONCRETE ROOF TILES
WINDOWS WHITE UPVC DOUBLE GLAZED
GUTTERS, RWP, SVP, FASCIAS BLACK UPVC
SOFFITS WHITE UPVC
FRONT DOORS COMPOSITE VARIOUS COLOURS

**FRONT ELEVATION (South)
STREET SCENE**

Plots 1 to 6

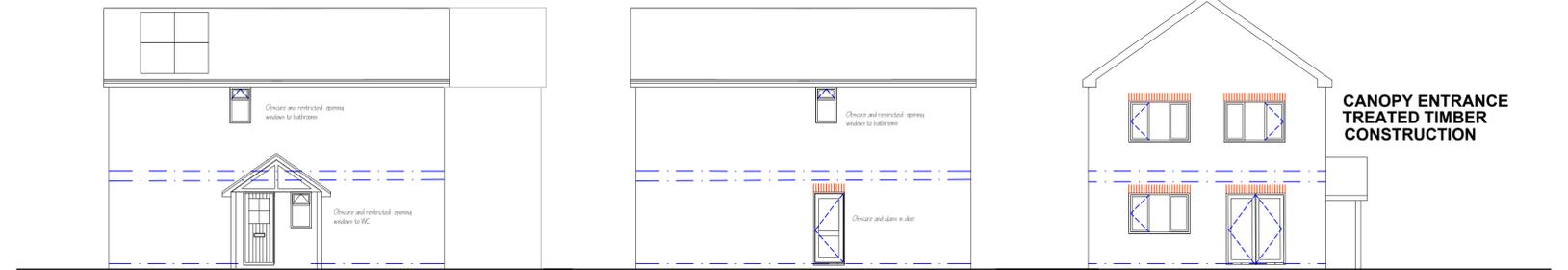
**Plot 7
(East 8 handed & 9)**

FAIR FACED BRICKWORK RED MULTI WIRECUT
BRICK SIMILAR TO SURROUNDING AREA
ROOF TILES SMOOTH GREY (MARLEY MODERN
OR SIMILAR) TO THE APPROVAL OF L.A.



**GROUND / FIRST
FLOOR PLAN PLOTS 1 to 6** AREA 93 M2 (1001 SQFT)

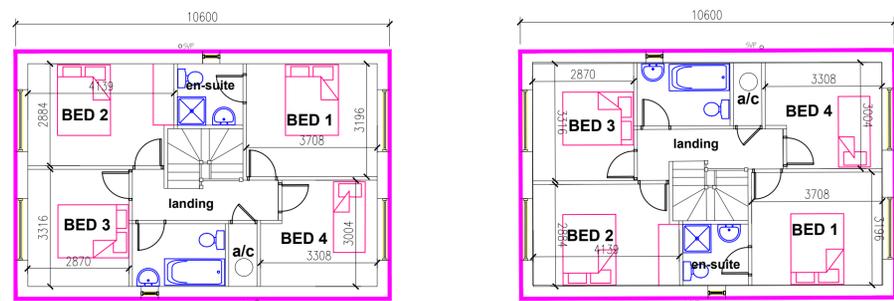
6 no Solar Panels on each
Property generating 1.6 Kw/h
Solar panels on South or West Face



**SIDE ELEVATION
(East 7 North 8 South 9)**

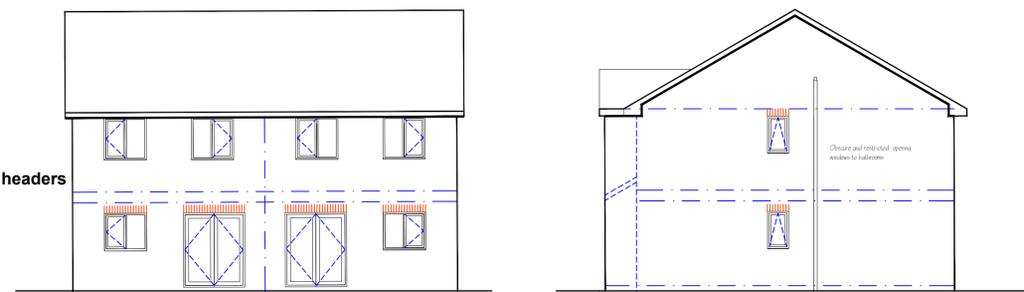
**SIDE ELEVATION
(West 7 South 8 North 9)**

**REAR ELEVATION
(North 7 East 8 handed & 9)**

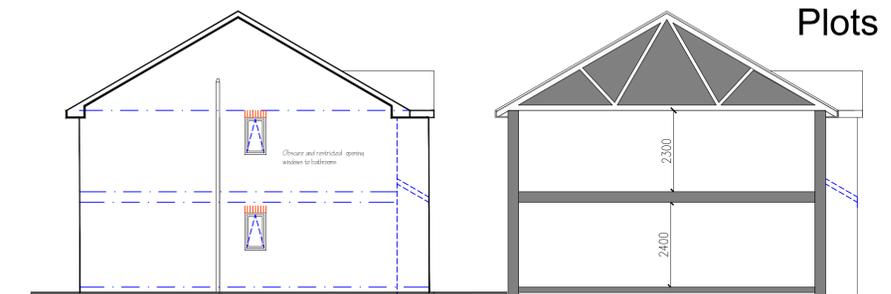


**GROUND / FIRST
FLOOR PLAN PLOTS 7 to 9**
AREA 124.74 M2 (1342 SQFT)

Feature brick soldier headers



REAR ELEVATION Plots 1 to 6 **SIDE ELEVATION (West)
Plots 1 to 6**



**SIDE ELEVATION (East)
Plots 1 to 6**

CROSS SECTION

A Notes added to drawing, 30/07/25

Rev	Description	Date

Job Title
**ALGATE CLOSE
HOLBROOK
COVENTRY
CV6 4 NB**

Drawing Title
**FLOOR PLANS Plots 1-9
AND ELEVATIONS
Planning Drawings**

John Pryce Architectural
78 Lugtrout Lane
SOLIHULL
West Midlands
B91 2SN
Tel: 0121 572 4078
Mob: 07973 382 084
Email: john.pryce@uwclub.net
Building Design & Project Management

Drawn by	Checked by	Scale	Date
jp	j	1/100 A1	06-2025

Job Number	Drawing Number	Revision
1611	PA 09	A

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Planning Committee Report	
Planning Ref:	PL/2025/0001987/OUT
Site:	Land adjacent 260a Hawkes Mill Lane, Coventry, CV5 9FJ
Ward:	Bablake
Parish:	Allesley
Proposal:	Outline planning application for the erection of two dwellings (all matters to be reserved, except for access) (Resubmission of OUT/2022/3157)
Case Officer:	Ayesha Saleem

INTRODUCTION

This application is a resubmission of OUT/2022/3157, which was refused on 6th January 2023. The application was refused as it was considered to be inappropriate development within the Green Belt contrary to both the Coventry Local Plan 2017 and National Planning Policy Framework.

This application is in outline form with all matters reserved except for access. This application has been referred to planning committee as 5 letters of support have been received.

The adjacent site has had various consents to redevelop a former piggery site, with a total of four detached dwellings. The background of the applications is outlined below.

The most recent outline approval, OUT/2020/2762, was initially recommended for refusal and was refused by Planning Committee on 11th February 2021 but was granted on appeal on 31st July 2021 (appeal reference number APP/U4610/W/21/3269710). The proposal was an outline application to erect four dwellings with access, scale and layout considered. Two houses would be located to the east of the access road and two to the west. The two pairs of dwellings would be separated by around a 2m gap. The houses would each have a footprint of approximately 9m x 7.5m, making a total floor area of 252 square metres and a height of 9.6 metres.

A further application was submitted under planning reference PL/2025/0000555/FUL, as the outline application OUT/2020/2762 permission timing had lapsed. Therefore, the applicant submitted a full application for two of the proposed dwellings, which was granted.

RECOMMENDATION

Planning Committee are recommended to refuse planning permission for the reasons set out within this report.

REASON FOR DECISION

The application site lies within the Green Belt where strict policies of restraint apply. The development of the site for two houses will cause serious harm to the Green Belt and is inappropriate development within the Green Belt. The very special circumstances that have been put forward to justify the proposal do not outweigh the harm which would be caused by the proposal.

The application site is not considered to be in an accessible location, and inadequate measures have been proposed to make the site sustainable. The existing walking and cycling routes to nearby local facilities and amenities are not considered to be appropriate to support walking and cycling.

The proposed development would be contrary to Policies GB1, H3, AC1, AC4 and AC5 of the Coventry Local Plan 2017 and the aims and objectives of the National Planning Policy Framework and the principles of good design and well-designed places as set out within the National Design Guide.

SITE DESCRIPTION

The application site is located within the Green Belt, accessed via a private access which is located between 244 and 248 Hawkes Mill Lane. 244 and 248 Hawkes Mill Lane are single storey dwellings. The site is currently grass land between new built dwellings to the west and Hogs End Farm to the east. The site is screened from the wider public to the point that one is not aware of the site when traversing Hawkes Mill Lane.

APPLICATION PROPOSAL

The application has been submitted in outline form with only the means of access provided. All other matters relating to layout, scale, appearance, and landscaping are matters reserved for later consideration. An indicative plan has been submitted that shows two detached, two storey dwellings with parking to the front and amenity space to the rear. The existing garage for Hogs End Farm will be demolished to allow for the access and will be replaced to the side of Hogs End Farm.

PLANNING HISTORY

The planning history for the application site is as follows:

Application Number	Description of Development	Decision and Date
OUT/2022/3157	Outline planning permission for the erection of two dwellings (all matters to be reserved, except for access)	Refused 6 th January 2023

The main historic planning applications on the adjacent site to the west are as follows:

Application Number	Description of Development	Decision and Date
OUT/2018/2653	Outline application for demolition of existing agricultural buildings and erection of two dwellings (Use Class C3) (all matters except access, scale and layout reserved)	Approved 27 th February 2019.
OUT/2019/1375	Demolition of existing buildings and erection of four dwellings	Refused 7 th August 2019 Appeal dismissed

	(Outline application with access, scale, layout and appearance to be considered)	
OUT/2020/0577	Demolition of existing buildings and erection of three dwellings (Outline application with access, scale and layout to be considered)	Approved 15th July 2020
OUT/2020/2762	Demolition of existing buildings and erection of four dwellings (Outline application with access, scale and layout to be considered)	Refused 11 th February 2021 and allowed at appeal 31 st July 2021
RM/2021/3791	Application for approval of reserved matters (appearance and landscaping) pursuant to permission OUT/2020/2762 (APP/U4610/W/21/3269710), granted on appeal, 31st July 2021 for the 'Demolition of existing buildings and erection of four dwellings (Outline application with access, scale and layout to be considered)'	Approved 4 th April 2022
PL/2025/0000555/FUL	Erection of two dwellings with associated development	Approved 26 th June 2025
PL/2025/0001175/FUL	Erection of double garage to existing approved house site	Refused 4 th August 2025 (Current appeal being considered)
PL/2025/0002380/FUL	Erection of outbuildings to the rear of the two dwellings approved under application ref: PL/2025/0001388/RVC	Refused 21/01/2026
PL/2026/0000082/FUL	Erection of detached dwelling with associated development (Plot 2 previously approved under reference OUT/2020/2762)	Pending Determination

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) December 2024.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2017, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs

Policy DS3: Sustainable Development Policy
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing
Policy H9: Residential Density
Policy GB1: Green Belt and Local Green Space
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM3 Renewable Energy Generation
Policy EM5 Sustainable Drainage Systems (SuDS)

Emerging Local Policy Guidance – Local Plan Review was submitted to the Planning Inspectorate on 9th September 2025 for examination

The Local Plan review is currently at Examination. Relevant emerging policy relating to this application is:

Policy DS1: Overall Development Needs
Policy DS3: Sustainable Development Policy
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing
Policy H9: Residential Density
Policy GB1: Green Belt and Local Green Space
Policy GE3: Biodiversity, Geological, and Landscape Conservation
Policy GE4: Tree Protection
Policy DE1: Ensuring High Quality Design
Policy DE2: Delivering High Quality Places
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Active Transport Provision including Walking, Cycling and Micro Mobility
Policy EM1: Planning for Climate Change Adaptation
Policy EM4: Flood Risk Management
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM11: Energy Infrastructure
Policy EM13: Overheating in new buildings

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPG Design Guidelines for Development in Coventry's Ancient Arden
SPD Design Guidelines for New Residential Development
SPD Delivering a More Sustainable City
SPD Coventry Connected
SPD Air Quality

CONSULTATION

No objections have been received from:

- Environmental Protection (CCC)- subject to conditions in relation to a CMP (construction management plan) and Low Nox boilers and EV (electric vehicle) charging points.
- Ecology (CCC)- subject to conditions in relation to lighting, biodiversity features, and a LEMP (Landscape Ecological Management Plan)

Objections have been received from:

- Local Highway Authority (CCC)

Neighbour consultation

Immediate neighbours and local councillors have been notified, and a site notice was displayed on the 20th of October 2025.

Six letters of objection have been received, raising the following material planning considerations:

- a) Increased traffic
- b) Concerns regarding suitability of access
- c) Parking provision concerns
- d) Loss of wildlife
- e) Loss of privacy to neighbours
- f) Overdevelopment
- g) Loss/ Impact upon Green Belt
- h) Increased noise concerns
- i) Lack of notification

Within the letters received the following non-material planning considerations were raised, these cannot be given due consideration in the planning process:

- j) Damage to existing property boundaries
- k) Concerns regarding to structural damage/ subsidence
- l) Loss of view

Five letters of support have been received, raising the following material planning considerations:

- m) The land is currently disused and vulnerable to people potentially using it for waste and or living on it.
- n) Improve and enhance the area

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, the impact upon the openness of the Green Belt and character, future residential environment, impact upon residential amenity, access and highway considerations, air quality and ecological impacts.

Principle of Development

The application site is located within Green Belt, which is, by definition, inappropriate development. Inappropriate development will not be permitted in the Coventry Green Belt unless very special circumstances exist.

The Agent has submitted a planning statement with their suggested very special circumstances summarised below:

- Infilling a small gap- The situation from the previously refused application has changed in that the four houses permitted immediately to the west of the site are all under construction, with Plot 1 being finished and construction of Plots 3 and 4 being well advanced. A material start has also been made on Plot 2. The planning authority must therefore take these new houses into account when assessing whether the application site constitutes an acceptable infill plot.
- Built up frontage- The site adjoins built development on all sides, most particularly to the west, east and south. Taking account of the recently consented four dwelling schemes within the adjoining land to the west, the application proposal would result in a continuous built-up frontage of seven properties within the physical confines of Hawkes End. The indicative site plan shows that the two new houses would form part of a continuous built-up.
- Within the physical confines of a village- Although Hawkes End, and the adjacent larger village of Brownhill Green, do not have defined village or settlement boundaries, case law has determined that this is not necessary in order to conclude that a particular site lies within the physical confines of a village, and that a case-by-case approach is required. This issue was clarified in the case of *Julian Wood v Secretary of State for Communities and Local Government and Gravesham Borough Council* (2015). The Court of Appeal held that sites outside designated village boundaries could still be considered as constituting 'infill' sites.
- Suitability of the location- The permitted Hogs End Court scheme, which was endorsed by a Planning Inspector, the City Council has also previously accepted that Hawkes End is a sustainable location for new housing through a number of planning approvals.
- Grey Belt- Government policy confirms that new homes on Grey Belt land is acceptable within the Green Belt where "there is a demonstrable need for the type of development proposed". On the basis of the last published figures (to a base date of 31st December 2024), we understand that Coventry City can demonstrate a housing land supply of 5.6 years, only marginally above the required minimum of 5 years. Therefore, given the on-going and increasing housing need for all authorities, we suggest that there is a demonstrable housing need.
- Self-Build/ custom- build homes- There is a particular need for self-build and custom-build housing, with planning authorities being required to grant sufficient planning permissions to meet the identified demand for such housebuilding in their area. The City Council's website advises that the authority is still assessing what the level of need is. Therefore, in the absence of such an assessment, it is reasonable to assume that there is a demonstrable need for self-build and custom build housing within the authority's area.

Limited infill within a Village:

This application seeks to gain permission for infill development in the Green Belt, given the context of this site, notably the fact that the approved dwellings under planning application (OUT/2020/2762) Appeal Reference (APP/U4610/W/21/3269710) have now been substantially built. Officers accept the dwellings could be infill development in the Green Belt given the commencement of the adjacent dwellings, albeit the site is not within a village.

With regards to Hawkes End being a village this does not have a definitive definition or boundary to state this is a village and is not identified as such in the Development Plan. In our opinion the collection of buildings is more akin to a hamlet rather than a village. Villages normally have community facilities and services, and Hawkes End consists of a few houses and one or two farm buildings with no community facilities or services.

The first test concerns whether the settlement in which the application is sited is a “village” or not. An appeal located in Staffordshire referenced APP/B3438/W/18/3211000 was dismissed and the inspector upheld that the proposal was judged to be sited within a hamlet rather than a village on the basis that it did not have church building. Within the application area; Hawkes End there is no church building, so Hawkes End cannot be classed as a village.

The application site is located within Hawkes End, a small settlement along Hawkes Mill Lane. Hawkes End is located to the West of Brownhill Green, a larger residential settlement along the outskirts of Coventry and North of Allesley Village. Historic post war aerial photographs show a clearer separation between the Hawkes End, Brownhill Green Settlement and Allesley Village. However, over time the settlements have largely merged with one another and there is no defined administrative or map boundary defining the village boundaries. Notwithstanding this there are considered to be three historically distinct settlements present.

Brownhill Green formerly had a church building at the Brownhill Green United Reformed Church however following the grant of permission FUL/2014/3615 this has since been demolished and replaced with housing. There are no significant community amenities, such as schools, doctors’ surgeries or shops etc. with the only and nearest public facility being the White Lion Pub. Having regard to appeal APP/B3438/W/18/3211000, the inspectors reasoned that *“while a church may have once existed in Ridgeway, there is no church there now as it has been replaced by a dwelling known as Chapel House. There are also no other associated buildings in Ridgeway that would, in my judgement, mean that Ridgeway is anything more than a hamlet”*. Therefore, it is concluded that Brownhill Green, is considered to be a hamlet. There is currently no church within Hawkes End or Brownhill Green with the nearest church now located at Saint Thomas’ Church on Tamworth Road and All Saints Church, Allesley. There are no local amenities along Hawkes Mill Lane or Ted Pitts Lane. Therefore, Hawkes End is not classed as a village.

The development in our view is not classed as limited infill within an existing village, nor does it comply with any of the other criteria within Paragraph 154 of the NPPF.

Limited infill within existing ribbon developments:

The development is not classed as limited infill within existing ribbon developments; the proposed development is off an access track and not a main route/ road.

The proposal does not comply with the self-build element of Policy H3 as the development is not considered to be limited infill within existing ribbon developments. Ribbon development consists of single rows of buildings along roads generally leading away from towns. In this situation, the development site is situated to the rear of what could potentially be considered a ribbon, however it does not and could not form part of the

ribbon itself. We do not accept that one ribbon could be positioned back-to-back with another.

It is also noted that the Council is currently able to demonstrate a 5-year housing land supply figure of 5.91 years, as such, and in accordance with the NPPF, we would not consider there to be an unmet need of housing that would require residential development to occur in the Green Belt.

Grey Belt:

Having reviewed paragraph 155 of the NPPF, it is arguable that the site does not strongly contribute to purposes a) b) or d) in paragraph 143. However, we are at odds when it comes to there being demonstrable need for the development. Whilst the agent makes an interesting argument with regard to the specifics of self-build, there will be many dwellings approved every year within the City of Coventry which would be suitable for self-build, whether the applicant identifies themselves as a self-builder or not. A case in point would be the four dwellings adjacent to this site.

Even if it could be argued that the site is Grey Belt Land, given that we can demonstrate a 5-year housing land supply of 5.91 years, in NPPF terms there is no demonstrable unmet need for housing in Coventry and as such the site is not considered to meet the tests for Grey Belt.

With regard to the sustainability of the site, it would be a difficult place to live without running a private car due to the distances to basic facilities such as shops, primary school etc. Many other sites in the area which have been approved dwellings have been either conversions or redevelopment of previously used sites for which weight is generally afforded to the reuse of the site and the sustainability of the location has slightly less prominence.

Therefore, the development is contrary to Paragraph 155 of the National Planning Policy Framework and does not constitute Grey Belt land.

Notwithstanding the above, the proposal will result in the demolition of the existing garage to clear the access to allow the plots to be accessed. The submitted site plan indicates that the garage would be replaced utilising permitted development rights, however an assessment of whether this would be lawful falls outside the scope of this application.

Therefore, in conclusion, the development is inappropriate development in the Green Belt, and it is considered that the very special circumstances do not outweigh the harm. The proposal is contrary to Policies H3 and GB1 of the Coventry Local Plan 2017, the emerging Coventry Local Plan 2025 and the aims of the National Planning Policy Framework.

Openness of the Green Belt and character of the area

The application site is located to the rear of the properties fronting onto Hawkes Mill Lane, is accessed via a private single track and is heavily screened from any public vantage points.

The application site is just grassland with no previous development of the land. The provision of two dwellings and the associated domestic paraphernalia would result in a

form of development that when viewed from the surrounding area would be visible. Whilst some farmhouses are set back and sometimes behind existing linear development, the new buildings in their form would be considered out of character with the rural setting of the site and would result in harm to the openness of the green belt. In fact, even if the two houses could not be seen from any public vantage points, the erection of buildings on the land would reduce the openness of the Green Belt and is therefore harmful.

The provision of two houses will add a suburban character to the area by their siting. Together with the associated domestic paraphernalia associated with residential uses, will harm the character of the area and the openness of the Green Belt and is therefore considered to be inappropriate development by definition and contrary to the aforementioned paragraphs of the NPPF.

Whilst the provision of two market dwellings attracts some limited weight in favour of the proposal, no very special circumstances have been demonstrated to outweigh the harm identified above.

Future residential environment

An indicative site plan and street scene elevation has been submitted. Two dwellings can sit comfortably within the plot. The garden depths are to be around 30 metres which complies with the Residential Design Guidelines SPD. There is also sufficient space for bin storage and parking. Therefore, the amenity for the future occupants would be acceptable.

Impact upon residential amenity

The properties within Hawkes Mill Lane are set over 30m away from the boundary with the edge of the site. Plot A is located 4.5 metres from the closest residential property (plot 4) on the approved PL/2025/0000555/FUL. Plot B is located 9.7 metres away from Hogs End Farm. There is separation distance of 3.6 metres between Plots A and B.

Given the significant separation distances between the proposed houses and the existing properties, the proposed dwellings are not considered to have a detrimental impact in terms of overlooking, loss of privacy and loss of light in accordance with Policy DE1 of the Coventry Local Plan 2017, the emerging Coventry Local Plan 2025, and accords with the general principles of the SPG Design Guidance for New Residential Development.

Access and highway considerations

Having undertaken a full assessment of the development proposals. The existing access between Nos 244 and 248 Hawkes Mill Lane serves the dwellings within the grounds of 246 Hawkes Mill Lane. The access has suitable visibility and would be considered acceptable to accommodate two further dwellings as proposed.

Notwithstanding the above, the Local Highway Authority (LHA) currently have the following concerns:

The application site is not considered to be in an accessible location. According to the CIHT's 'Planning for Walking' (2015) publication, walking neighbourhoods are typically characterised as having a range of facilities within 10 minutes' walking distance (around 800m). This is also reflected in the National Design Guide (2019), which defines "Walkable: Local facilities are within walking distance, generally considered to be no more

than a 10 minute walk (800m radius)", and also Active Travel England's (ATE) 'Standing Advice Note: Active travel and sustainable development' which indicates that a mix of local amenities should be located within an 800m walking and wheeling distance (using well-designed routes) of all residential properties.

The nearest bus stop to the site is located along Brown's Lane, near to the junction with Hawkes Mill Lane, approximately 965m walking distance from the centre of the application site. The LHA requires bus stops to be located within 400m walking distance of dwellings. The nearest school to the site is Allesley Primary School, approximately 2.6km walking distance from the site. The nearest medical services are Allesley Doctors Surgery and Allesley Pharmacy, located approximately 2.6km and 2.9km respectively from the site. The nearest retail store to the site is One Stop Coventry Park Hill, approximately 3.4km walking distance from the site, but the nearest supermarket is Morrisons / Aldi at Alvis Retail Park, approximately 5km walking distance from the site. The distance of the site to the nearest local facilities and amenities exceeds the required distances set out in Policy H3 of the Coventry Local Plan 2017, in addition to the guidance set out above.

The LHA also has concerns that access to some of the facilities listed above will require future occupants of the development to travel to/from the west of the site. The existing footway along Hawkes Mill Lane terminates approximately 145m to the west of the site access, there is a lack of street lighting, and the speed limit increases to the National Speed Limit (60mph). This is also the case along Washbrook Lane. It is therefore unlikely that this route would be safe or suitable for use by pedestrians and cyclists, which conflicts with the NPPF which requires developments to prioritise walking and cycling.

The agent has submitted a response to the highway objection dated 14th November 2025. The following points have been raised:

- As there has been no change in circumstance since the 2022 application with the same Local Plan policies being on place there is no justification for reaching a different conclusion in relation to highways and accessibility matters.
- There have been several other application in the immediate vicinity and sustainability and accessibility concerns have not been raised.
- Policy H3 distances should be achieved wherever possible.
- Hawkes End lies in a sustainable location on the outskirts of the City.
- Policy H3 supports new self-build housing within ribbons of development within the Green Belt. It would be unacceptable for the council to apply the same accessibility criteria to 'self-build housing within ribbons of development' as those sites within the main built-up area of the City.

The Local Highway Authority have reviewed the response and their comments still stand. The history of the site and nearby developments were taken into consideration when assessing the current planning application. Officers still consider the application site to be in an unsustainable and inaccessible location.

Again, officers appreciate that there was a previous application at the site and nearby developments approved, however, the NPPF has been updated since then, which requires developments to adopt a vision-led approach to deliver sustainable places, which has not been achieved in this instance.

In respect of this application the Highway Authority objects to the current proposals.

Air quality

Environmental Protection officers have no objections subject to conditions in relation to a Construction Management Plan, Nox boilers and EV charging points.

Ecological assessment

Policy GE3 of the Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

Ecology officers' states that the non-native and ornamental hedgerow be amended to be a native hedgerow, non-native hedgerows are not as beneficial to UK wildlife. Ideally the species chosen should be common beech, hawthorn, alder buckthorn, blackthorn, and hazel. Ideally all of these species should be planted. The plans state that two ornamental ponds will be created. It is vital that a management plan is created for this, ponds offer great habitats for wildlife and is a habitat that is really needed in Coventry.

Ecology officers have no objections subject to conditions in relation to lighting, biodiversity features, and a LEMP. No BNG is required given this development is classed as self-build.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be unacceptable in principle and would constitute inappropriate development within the Green Belt without demonstration that very special circumstances apply, contrary to Policies GB1 and H3 of the Coventry Local Plan, the emerging Coventry Local Plan 2025 and the aims of the National Planning Policy Framework. The application site is not considered to be in an accessible location, and inadequate measures have been proposed to make the site sustainable contrary to

Policies H3, AC1, AC4 and AC5 of the Coventry Local Plan. It is therefore recommended that planning permission is refused.

POLICY APPENDIX

National Planning Policy Framework (NPPF) December 2024.
Coventry Local Plan 2017 & Emerging Local Policy
Supplementary Planning Guidance/ Documents (SPG/ SPD):

The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

Principle of development

The National Planning Policy Framework, paragraph 11, states that "Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites (with the appropriate buffer set out in paragraph 78).

Based on the provisions of the NPPF 2024 the Council can demonstrate a 5.91- year housing land supply as of 31st March 2025.

Impact upon the openness of the Green Belt and character of the area

Policy GB1 within the Coventry Local Plan 2017 relevant points are as follows:

'2A: Inappropriate development will not be permitted in the Coventry Green Belt unless very special circumstances exist. Development proposals, including those involving previously developed land and buildings, in the Green Belt will be assessed in relation to the relevant national planning policy.

7. In addition to appropriate development in the Green Belt identified in the NPPF, limited infill development would be considered appropriate. Any proposal in these locations will be expected to be of an appropriate density to reflect surrounding properties should not impact negatively on the openness and character of the wider Coventry Green Belt and will also need to accord with Policy H3.'

Policy H3 within the Coventry Local Plan 2017 is as follows:

‘1. New residential development, including opportunities for self-build homes and starter homes, must provide a high-quality residential environment which assists in delivering urban regeneration or contributes to creating sustainable communities and which overall enhances the built environment.

2. In addition, opportunities to provide self-build homes and starter homes will be considered acceptable as part of limited infill within existing ribbon developments within the Green Belt where it is demonstrated that they do not have an adverse impact upon the openness and integrity of the wider Green Belt.

3. A suitable residential environment will include safe and appropriate access, have adequate amenity space and parking provision and be safe from environmental pollutants such as land contamination, excessive noise and air quality issues.

4. Wherever possible new developments should also be:

- a) within 2km radius of local medical services;
- b) within 1.5km of a designated centre within the city hierarchy (policy R3);
- c) within 1km radius of a primary school;
- d) within 1km of indoor and outdoor sports facilities; and
- e) within 400m of a bus stop
- f) within 400m of publicly accessible green space.

5. Proposals should also be in conformity with all other relevant plan policies

6. Sustainable transport provision and the infrastructure required to support housing development must be considered from the onset, to ensure all sites have easy access to high quality public transport and walking and cycling routes

7. The delivery of self-build homes will be supported where they meet the criteria of this policy.’

For information both of the above policy points Policy GB1 (point 7) and Policy H3 (point 2) have been removed from the emerging Local Plan and there is an ever increasing amount of weight attached to the emerging Local Plan.

In terms of decision-taking in the context of NPPF para 143 (the five purposes of Green Belt) National Policy (Paragraph 153) confirms that development that is harmful to the Green Belt should not be approved except for situations of ‘very special circumstances. This is clearly a pertinent consideration in relation to this application.

Paragraph 154 of the NPPF states Development in the Green Belt is inappropriate unless one of the following exceptions applies:

- a) buildings for agriculture and forestry;

- b) the provision of appropriate facilities (in connection with the existing use of land or a change of use), including buildings, for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;
- c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.
- d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- e) limited infilling in villages;
- f) limited affordable housing for local community needs under policies set out in the development plan (including policies for rural exception sites); and
- g) limited infilling or the partial or complete redevelopment of previously developed land (including a material change of use to residential or mixed use including residential), whether redundant or in continuing use (excluding temporary buildings), which would not cause substantial harm to the openness of the Green Belt.
- h) Other forms of development provided they preserve its openness and do not conflict with the purposes of including land within it. These are:
 - i. mineral extraction;
 - ii. engineering operations;
 - iii. local transport infrastructure which can demonstrate a requirement for a Green Belt location;
 - iv. the re-use of buildings provided that the buildings are of permanent and substantial construction;
 - v. material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds); and
 - vi. development, including buildings, brought forward under a Community Right to Build Order or Neighbourhood Development Order.

In terms of Grey Belt, the NPPF definition of Grey Belt is as follows ‘for the purposes of plan-making and decision-making, ‘grey belt’ is defined as land in the Green Belt comprising previously developed land and/or any other land that, in either case, does not strongly contribute to any of purposes (a), (b), or (d) in paragraph 143. ‘Grey belt’ excludes land where the application of the policies relating to the areas or assets in footnote 7 (other than Green Belt) would provide a strong reason for refusing or restricting development.

Paragraph 143 of the NPPF states ‘Green Belt serves five purposes:

- a) to check the unrestricted sprawl of large built-up areas;
- b) to prevent neighbouring towns merging into one another;
- c) to assist in safeguarding the countryside from encroachment;
- d) to preserve the setting and special character of historic towns; and
- e) to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.’

Paragraph 155 of the NPPF states ‘The development of homes, commercial and other development in the Green Belt should also not be regarded as inappropriate where:

- a. The development would utilise grey belt land and would not fundamentally undermine the purposes (taken together) of the remaining Green Belt across the area of the plan;
- b. There is a demonstrable unmet need for the type of development proposed;
- c. The development would be in a sustainable location, with particular reference to paragraphs 110 and 115 of this Framework; and
- d. Where applicable the development proposed meets the ‘Golden Rules’ requirements set out in paragraphs 156-157 below.

Future residential environment

Chapter 12 of the NPPF requires that planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

Policy DE1 of the Coventry Local Plan 2017 seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

Impact upon residential amenity

Policies H3, H5 and DE1 of the adopted Local Plan seek to ensure that development proposals provide a suitable living environment for future occupiers, whilst also not resulting in a detrimental impact to existing/neighbouring residential occupiers, the NPPF reaffirms the importance of quality design.

Access and highway considerations

Policy AC2 of the Coventry Local Plan 2017 requires new developments to support and accommodate, where appropriate, measures which facilitate enhancements to the wider transport network.

Air Quality

Policy EM7 of the Coventry Local Plan 2017 requires new developments to ensure that there is not an increase in air quality issues, this is supported and consistent with Paragraph 199 of the NPPF (2024) which states that planning decisions will have due regard for Air Quality Management Areas, of which the site and the rest of the city lies within.

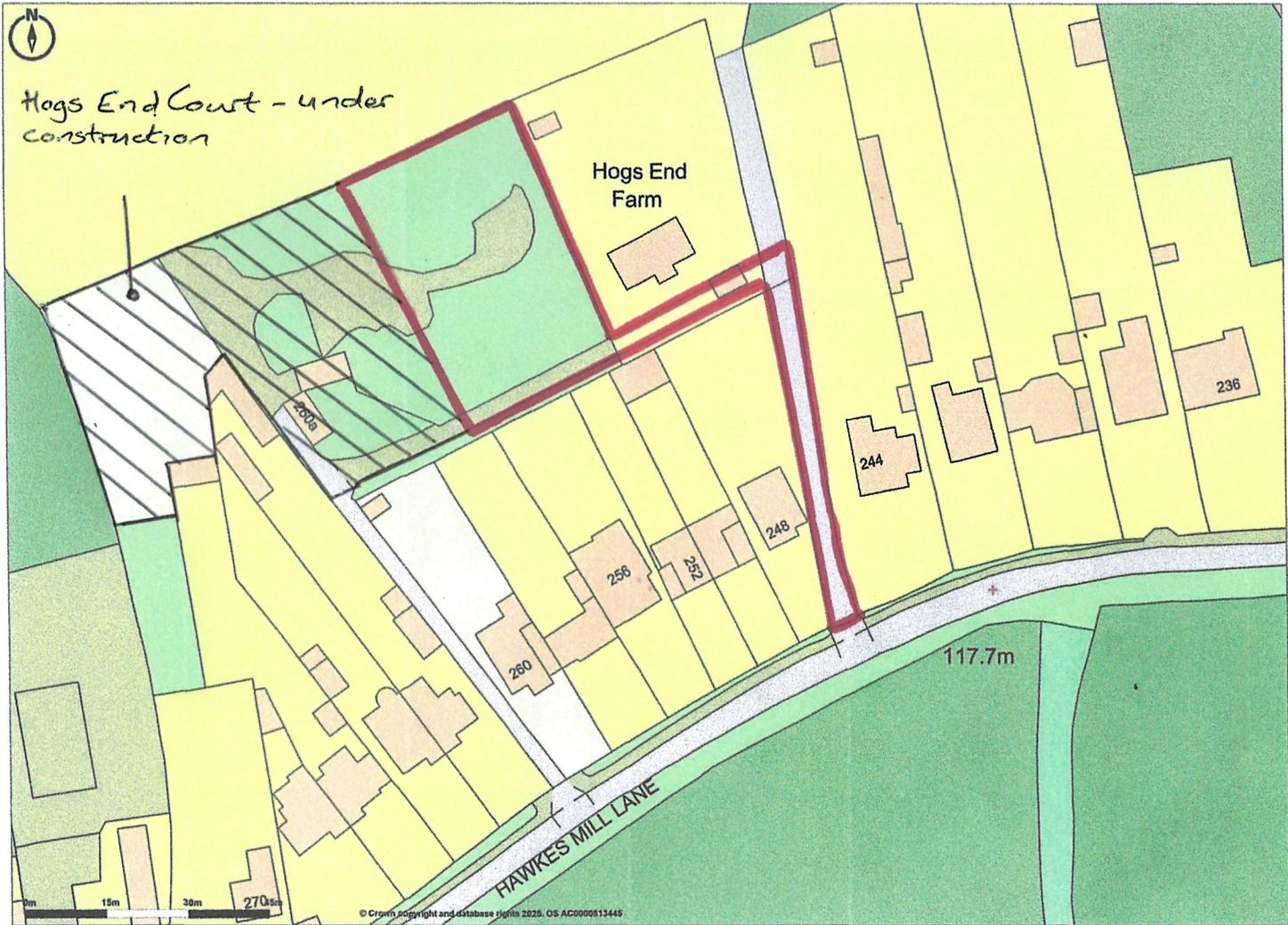
Ecological assessment

Policy GE3 of the Coventry Local Plan 2017 states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

REASON FOR REFUSAL

<p>1.</p>	<p>The application site lies within the Green Belt where strict policies of restraint apply. The development of the site for two houses will cause serious harm to the Green Belt because it: -</p> <ul style="list-style-type: none"> i) is inappropriate; ii) diminishes openness; iv) conflicts with the purpose of including land in the Green Belt by encroaching upon the countryside, extending urban sprawl, and is harmful to the maintenance of its character; whilst failing to contribute to the achievement of any of the objectives for the use of land in the Green Belt. <p>No very special circumstances have been put forward to justify the proposal in order to outweigh the harm which would be caused by the proposal. In consequence the application is contrary to Policies GB1 and H3 of the Coventry Local Plan 2017 and the aims and guidance contained within the National Planning Policy Framework and is not justified by any other material considerations.</p>
<p>2.</p>	<p>The application site is not considered to be in an accessible location, and inadequate measures have been proposed to make the site sustainable. The existing walking and cycling routes to nearby local facilities and amenities are not considered to be appropriate to support walking and cycling. It is therefore considered that the proposals fail to comply with Policies H3, AC1, AC4 and AC5 of the Coventry Local Plan 2017, and Paragraphs 115 and 117 of the National Planning Policy Framework 2024.</p>

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Promap
 ● LANDMARK INFORMATION

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 Plotted Scale - 1:1250. Paper Size - A4

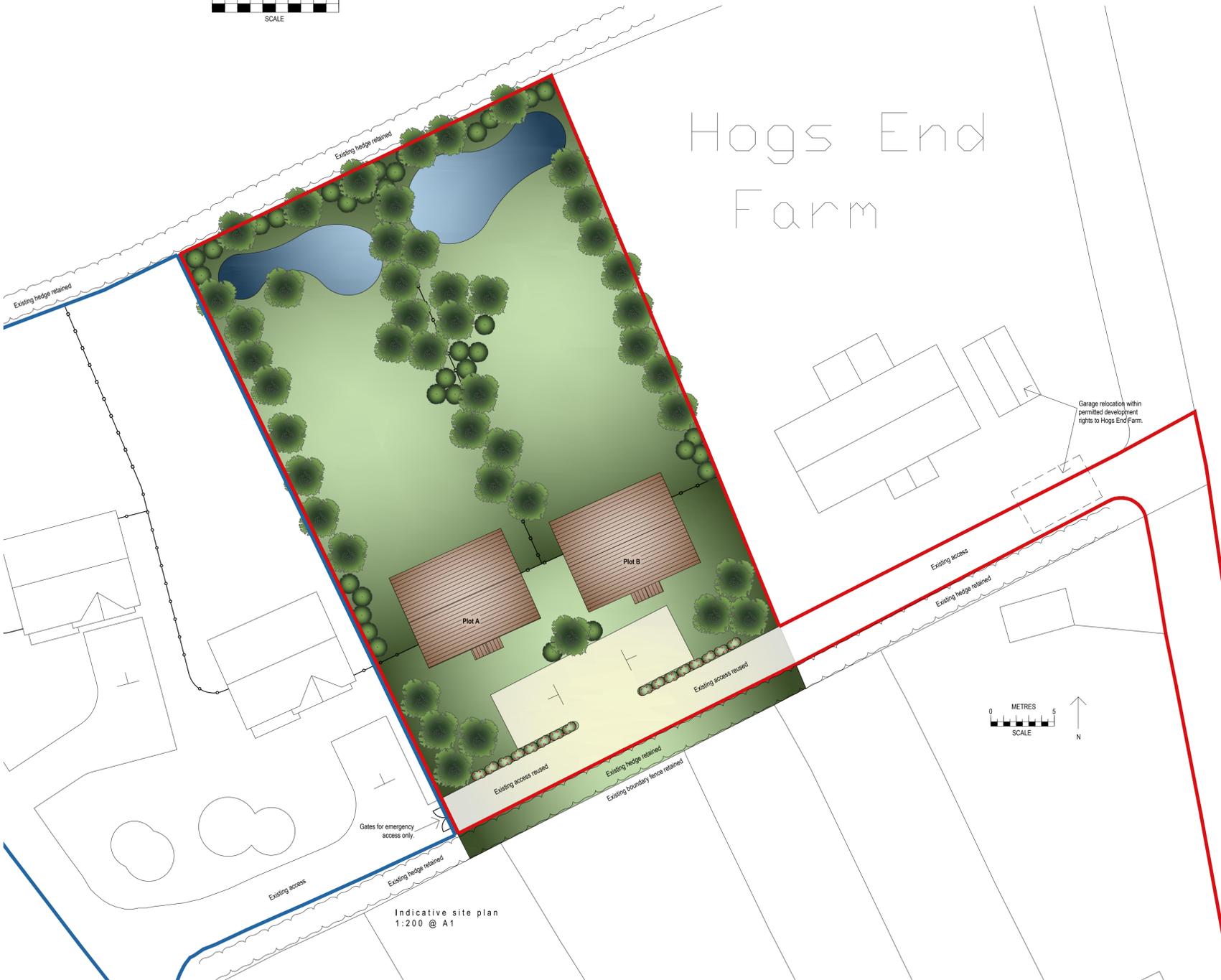
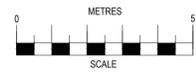


Plots as approved on separate application

Indicative infill

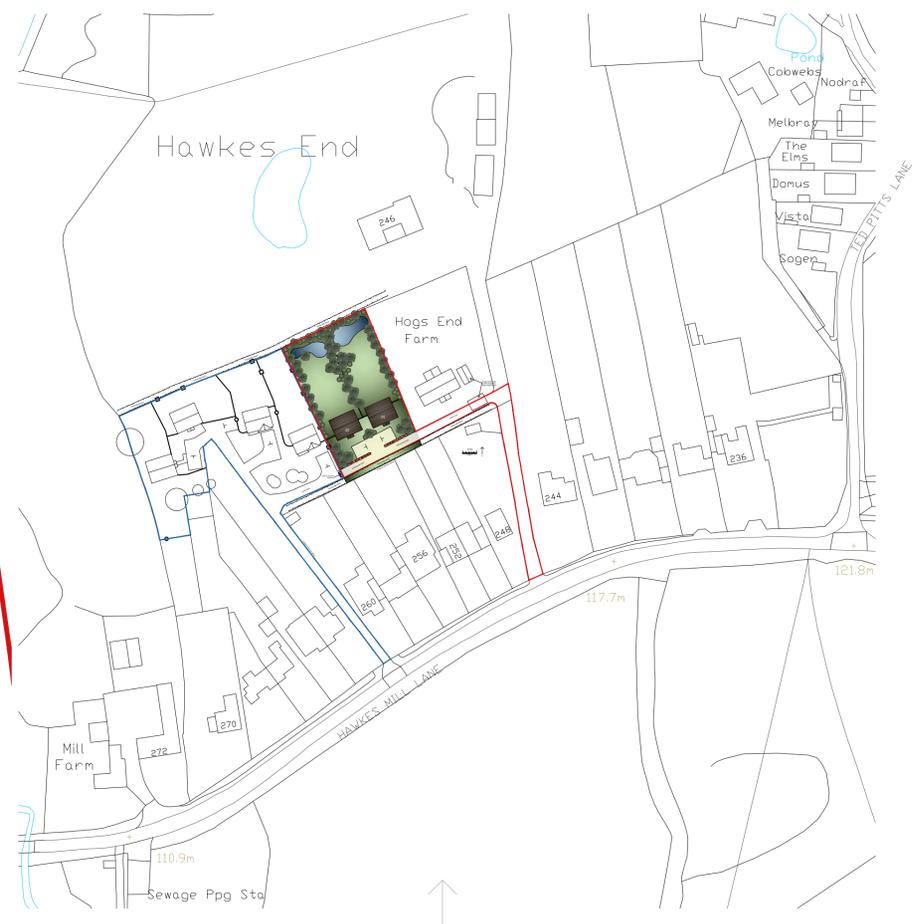
Hogs End Farm

Indicative street scene
1:100 @ A1



Indicative site plan
1:200 @ A1

Hogs End Farm



Location plan
1:1250 @ A1

Based on survey by others.
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info@ramus-architects.co.uk

Job:
Land adjacent to 260A,
Hawkes Mill Lane,
CV5 9FJ.

Client:
Zurich Developments Ltd

Drawing title:
Indicative site plan
and street scene
Outline application, all matters reserved
except for access

Scale:
As noted @ A1

Date:
May 2022

Dwg No:
1 6 5 3 - S P - 0 1 _ E



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